CITY OF FULLERTON

Community and Economic Development Department

Item No. 2
May 24, 2023
6:30 p.m.
Public Hearing

TO: **Chair Mansuri and**
Members of the Planning Commission

APPLICATION

ZON-2021-0041, ZON-2023-0034

APPLICANT

Heather Metoyer

LOCATION

245 North State College Boulevard

SUMMARY AND APPLICATION REQUESTED

The applicant is requesting an Appeal of the Zoning Administrator determination of approval for a Minor Site Plan to redevelop a 0.71-acre site with 25 residential townhomes over one level of subterranean garage parking, located at 245 North State College Boulevard.

CEQA DETERMINATION

In accordance with the California Environmental Quality Act (CEQA) Section 15332, the project is Categorically Exempt from environmental review and qualifies for a Class 32 (In-Fill Development Projects) exemption. The Notice of Exemption was filed with the Orange County Clerk-Recorder Department on April 15, 2023 (see Attachment 1).

AUTHORIZATION/GUIDELINES

The Fullerton Municipal Code (FMC) authorizes appeals of Zoning Administrator decisions pursuant to the Code Sections listed below:

- Appeal – Section 15.66.070 of Chapter 15.66 authorizes Appeals of Zoning Administrator decisions to be heard by the Planning Commission.

PUBLIC OUTREACH

On May 10, 2023, the City sent Public Hearing Notices to property owners and site addresses within a 300-foot radius of the project site and posted one Public Hearing Notice on the property on that same date. The notice was published in the Fullerton News Tribune on May 11, 2023.

The notice was also posted on the City's website and at the Maintenance Services Department, Main Library, Museum Center, and City Hall on the Public Notice Boards. As of the printing of this report, no comments have been received from the public regarding this item.

PROJECT BACKGROUND

Applicant:	Heather Metoyer (appellant)
Property Owner:	Geotech Development Corporation (subject site)
Property Location:	245 North State College Boulevard
General Location:	Located on the east side of State College Boulevard, approximately 100 feet north of Revere Avenue
Parcel Number(s):	269-064-08
Existing Community Development Type (General Plan Land Use Designation):	Low/Medium Density Residential
Existing Zoning Classification:	R-G (Garden-Type Multi-Family Residential)
Site Size:	0.71 acres (30,926 square feet)
Circulation:	State College Boulevard is classified as a Major Arterial Highway. The property is accessed via State College Boulevard.
Parking:	56 garage parking spaces (subterranean)
Existing Conditions:	The property is currently developed with two single-family residences.
Surrounding Land Uses and Zoning:	The project site is abutted to the west and south by single-family residential properties zoned R-1-7.2 and R-2, to the north by a commercial restaurant/parking lot zoned G-C, and to the east by State College Boulevard.
Related Actions:	On April 6, 2023, the Zoning Administrator approved the Minor Site Plan Review via ZON-2021-0041.

PROJECT DESCRIPTION / ANALYSIS

Minor Site Plan Review (ZON-2021-0041)

The applicant/property owner submitted an application for Site Plan Review on April 1, 2021, to construct a 25-unit, two-story multi-family residential development with the dedication of three of those units to very low-income households. The applicant also requested to utilize the State bonus density laws to accommodate the project. The project plans were sent to relevant City departments for a two week review via the Development Coordination Review Committee (DCRC) review process. On April 29, 2021, staff provided the applicant with DCRC comments and corrections. Between April 2021 and January 2023, the applicant made revisions with two additional resubmittals of plans and supporting documents that addressed all staff corrections.

While working with City staff, it was recommended to the applicant to conduct outreach to the neighboring property owners. The applicant retained the services of a public relations consultant, who physically visited the neighbors and sent out letters to the neighboring property owners to inform them of the proposed project. Letters were sent to the neighbors in early February 2023 and the consultant received no responses back.

Additionally, the applicant retained the services of an environmental consultant who specializes in the California Environmental Quality Act (CEQA). The City sent out Requests for Proposal (RFPs) in December 2022 for the purpose of soliciting consultant proposals. Five companies submitted proposals and PSOMAS was selected. PSOMAS conducted an evaluation of the project plans and supporting documentation and it was determined that the scope of the project qualified for a CEQA Class 32 Categorical Exemption via Section 15332 "In-Fill Development Projects."

Zoning Administrator

On March 24, 2023, public hearing notices were mailed to property owners adjacent to the subject site notifying them of the upcoming Zoning Administrator meeting. In addition, a notice was posted on the property and on the City's website. Per Section 15.66.20 of the Fullerton Municipal Code, the Community Development Director is designated as the Zoning Administrator.

On April 6, 2023, the item was presented to the Zoning Administrator via Zoom. Since the implementation of COVID-19 pandemic protocols and direction of the City Clerk, Zoning Administrator meetings have been held via Zoom. The project was described in the attached Memorandum, project plans, and CEQA analysis documentation (see Attachment 2). Project Planner Edgardo Caldera provided a presentation of the project.

During the public comment portion of the meeting, verbal comments were provided by the following individuals*:

- Larry Lazar (provided a description of the project)
- Kara Block, DFH Architects (provided a description of the project)
- Jane Reifer (commented about the architecture, safety at driveway, past ownership, and on-site trees)
- Tracey Sanchez (requested that CEQA exemption be reconsidered)
- Martha Adams (commented about the architecture and fire access)
- Patty Tutor (inquired about the amount of affordable units)
- Felix and Heather Metoyer (requested reduced amount of units and concerns with CEQA exemption)

The applicant and applicant's consultants provided responses to the comments presented as follows:

- Trees – there are no historical trees on-site and only two old fruit trees present. Nine new trees will be planted as part of the project.
- Previous ownership – current owner does not have historical information about the property.
- Affordable units – applicant will follow state laws and requirements regarding affordable units.
- CEQA – PSOMAS conducted a thorough analysis of the project and determined that the Class 32 exemption was applicable. Project meets all the criteria for this exemption.

* Meeting Minutes are not created for Zoning Administrator items; however, staff took notes from the meeting.

Upon completion of all comments and presentations, the Zoning Administrator approved the item (see Attachment 3).

Appeal of Zoning Administrator Project Approval

On April 20, 2023, the appellant filed an appeal of the Zoning Administrator and submitted the appropriate forms and fee. The appeal included a series of questions and challenges to the project (see Attachment 4). This included comments in the following general categories:

- Appropriate use of the CEQA Class 32 Categorical Exemption
- Operational Concerns
- Design Concerns
- Density Concerns
- Parking Concerns
- Environmental Concerns

These comments were provided to the CEQA consultant PSOMAS, to review and research responses. While the consultant was able to provide responses to the vast majority of the comments, some comments provided were unrelated to CEQA, Municipal Code, or General Plan. For those particular unrelated comments, no response was provided. The consultant determined that all issues brought up in the appeal were appropriately addressed and no further environmental review was required.

GENERAL PLAN CONSISTENCY

The subject property has a General Plan land use designation of Low/Medium Density Residential and a zoning designation of R-G, Garden-Type Multi-Family Residential.

RECOMMENDED ACTION

Pursuant to the findings and facts, including General Plan consistency, outlined therein, the Planning Commission finds that the project is Categorically Exempt from CEQA and Adopts Planning Commission Resolution No. PC-2023-12 including recommended conditions entitled:

> **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FULLERTON, CALIFORNIA, APPROVING A RESOLUTION UPHOLDING THE DECISION OF THE ZONING ADMINISTRATOR APPROVING A MINOR SITE PLAN TO REDEVELOP A 0.71 ACRE SITE WITH 25 RESIDENTIAL TOWNHOMES OF WHICH 15 PERCENT OF THE UNITS WILL BE DEED-RESTRICTED FOR VERY LOW-INCOME HOUSEHOLDS ON PROPERTY ZONED R-G, LOCATED AT 245 NORTH STATE COLLEGE BOULEVARD**

DATED: May 24, 2023

Prepared by:

Chris Schaefer, AICP
Planning Manager

Approved for Agenda by:

for Sunayana Thomas
Director of Community and Economic Development

Attachments to Report:

1. Notice of Exemption
2. Zoning Administrator Memorandum with Attachments
3. Adopted Zoning Administrator Resolution No. ZA-2023-02
4. Appeal Comments
5. California Environmental Quality Act (CEQA) Responses
6. Draft Planning Commission Resolution No. PC-2023-12
7. Hearing Notice and Notification Map
8. PowerPoint Presentation

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk
County of: Orange
601 North Ross Street
Santa Ana, CA 92701

From: City of Fullerton
303 W. Commonwealth Avenue
Fullerton, California 92831

30-04|12|2023-0260

Project Title: State College Townhomes Project

Project Applicant: DFH Architects 1544 20th St. Santa Monica, CA 90404

Project Location – Specific:
245 North State College Boulevard, City of Fullerton

Project Location – City: Fullerton Project Location – County: Orange

Description of Nature, Purpose and Beneficiaries of Project:
The State College Townhomes Project (Project) involves construction of 25 two-story multi-family units for rent, over one level of subterranean garage parking on a 0.71-acre site within the City of Fullerton (City). The Project utilizes density bonus and will dedicate three units to very low-income households. The proposed residences include four 3-bedroom units, eight 3-bedroom plus private roof deck units, and thirteen 2-bedroom units all with private outdoor terraces.

Name of Public Agency Approving Project: City of Fullerton

Name of Person or Agency Carrying Out Project: DFH Architects

POSTED
APR 12 2023
ORANGE COUNTY CLERK-RECORDER DEPARTMENT
BY: C.C DEPUTY

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption. State type and section number: Section 15332, In-Fill Development (Class 32)
- ☐ Statutory Exemptions. State code number:

Reasons why project is exempt:
The project is consistent with The Fullerton Plan designation and Zoning designation and all applicable policies and standard. The proposed development is within City of Fullerton limits on a site of no more than five acres and substantially surrounded by urban uses. The project site has no value as habitat for endangered, rare or threatened species, and approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. The site can be adequately served by all required utilities and public services.

Lead Agency Contact Person: Edgardo Caldera, Senior Planner Area Code/Telephone/Extension: (714) 773-5773

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: [signature] Date: 04/11/23 Title: SENIOR PLANNER

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 2103 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

Recorded in Official Records, Orange County
Hugh Nguyen, Clerk-Recorder
50.00
$R00142966 14$
202385000267 8:31 am 04/12/23
414 OR03A Z01
0:00 50.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00

FILED
APR 15 2023
ORANGE COUNTY CLERK-RECORDER DEPARTMENT
BY: C.C DEPUTY

Revised 2011

State of California - Department of Fish and Wildlife

2023 ENVIRONMENTAL DOCUMENT FILING FEE CASH RECEIPT

DFW 753.5a (REV. 01/01/22) Previously DFG 753.5a

Print | StartOver | Save

RECEIPT NUMBER:
30 — 04/12/2023 — 0260

STATE CLEARINGHOUSE NUMBER *(If applicable)*

SEE INSTRUCTIONS ON REVERSE. TYPE OR PRINT CLEARLY.

LEAD AGENCY	LEAD AGENCY EMAIL	DATE
CITY OF FULLERTON		04/12/2023
COUNTY/STATE AGENCY OF FILING: Orange		DOCUMENT NUMBER: 202385000267

PROJECT TITLE

STATE COLLEGE TOWNHOMES PROJECT

PROJECT APPLICANT NAME	PROJECT APPLICANT EMAIL	PHONE NUMBER
DFH ARCHITECTS		(714)773-5773
PROJECT APPLICANT ADDRESS	**CITY / STATE**	**ZIP CODE**
1544 20TH ST.	SANTA MONICA CA	90404

PROJECT APPLICANT *(Check appropriate box)*

☐ Local Public Agency ☐ School District ☐ Other Special District ☐ State Agency ☑ Private Entity

CHECK APPLICABLE FEES:

☐ Environmental Impact Report (EIR)	$3,839.25	$	0.00
☐ Mitigated/Negative Declaration (MND)(ND)	$2,764.00	$	0.00
☐ Certified Regulatory Program (CRP) document - payment due directly to CDFW	$1,203.25	$	0.00

☑ Exempt from fee
- ☑ Notice of Exemption (attach)
- ☐ CDFW No Effect Determination (attach)

☐ Fee previously paid (attach previously issued cash receipt copy)

☐ Water Right Application or Petition Fee (State Water Resources Control Board only)	$850.00	$	0.00
☑ County documentary handling fee		$	50.00
☐ Other		$	

PAYMENT METHOD:

☐ Cash ☑ Credit ☐ Check ☐ Other

TOTAL RECEIVED $ 50.00

SIGNATURE	AGENCY OF FILING PRINTED NAME AND TITLE
X	DEPUTY CLERK, CARINA CORTES

MEMORANDUM

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

To: Sunayana Thomas, Zoning Administrator

From: Edgardo Caldera, Senior Planner

Subject: 245 North State College Boulevard
Minor Site Plan Review (ZON-2021-0041)

Hearing Date: April 6, 2023

Request / Authorization / Purpose

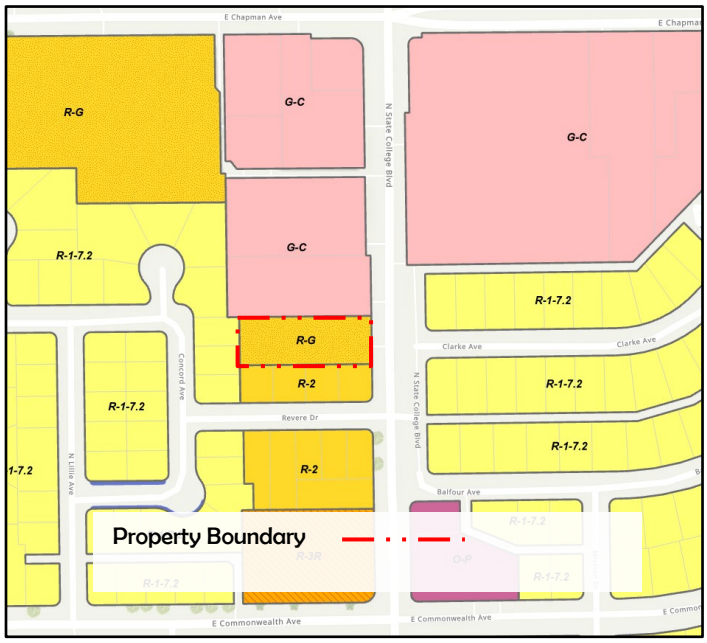
The applicant, Kara Block of DFH Architects, is requesting a Minor Site Plan to redevelop a 0.71-acre site with 25 residential townhomes over one level of subterranean garage parking, located at 245 North State College Boulevard. A Minor Site Plan Review is required pursuant to Fullerton Municipal Code (FMC) Section 15.47.020.2, which states that new construction, rehabilitation which alters the street facing elevation, or expansion of more than 50 percent of the existing square footage in a residential zone be reviewed via the Minor Site Plan process. A Minor Site Plan includes review of the proposed architecture and overall site design and development standards for the zone. FMC Chapter 15.47 outlines the intent and purpose, as well as the requirements for procedure and the design review criteria. The purpose of the Minor Site Plan Review is to ensure that new development is compatible with the surrounding properties and meets the Design Criteria specified in Section 15.47.060.

Recommendation

Staff recommends that the Zoning Administrator approve Minor Site Plan application ZON-2021-0041 subject to the conditions identified in Draft Resolution ZA-2023-02 (Attachment 1).

Background

The subject property is located on the east side of State College Boulevard, approximately 100 feet north of Revere Avenue (see map inset). The property is zoned R-G, Garden-Type Multi-Family Residential and has a General Plan Land Use Designation of Low/Medium Density Residential. The Project site is currently developed with two single-story residential structures and one accessory structure. Access to the property is from State College Boulevard. The Project site is abutted to the west and south by single-family residential properties, to the north by a commercial restaurant/parking lot, and to the east by State College Boulevard.



Project Description/Analysis

Site Plan

The proposed Project involves construction of 25 two-story for rent townhomes, over one level of subterranean garage parking. The proposed residences consist of four 3-bedroom units, eight 3-bedroom plus private roof deck units, and thirteen 2-bedroom units, all with private outdoor terraces.

The Project utilizes the state-allowed density bonus, per CA Government Code 65915 – 65918 and FMC 15.17.120, and includes 15 percent of the total units (i.e., three units) reserved as deed-restricted rentals to very-low-income households. A Regulatory Agreement and Declaration of Covenants and Restrictions (Affordable Housing Agreement) with the City will govern the provision of the units consistent with the terms established in state law. Additionally, the units are eligible for development concession(s) when affordable housing is included pursuant to the aforementioned code sections. The Project is therefore entitled to three concessions with respect to development standards as well as the application of the affordable housing parking rates, identified in the following comparison table.

Development Standard	Required	Proposed	Consistent
Setbacks	Front: 15 feet Sides: 7 feet Rear: 7 feet	20-23 feet 10 feet 4 inches to 11 feet 9 to 10 feet 2 inches	Yes
Window-to-Window Separation	16-22.5 feet - varies by story and type of room	10 feet	Yes, with concession
Height	Two stories, 30 feet	31 feet	Yes, with concession
Common Open Space	22,400 square feet	10,987 square feet	Yes, with concession
Private Open Space	2,500 square feet - 100 square feet per unit	7,065 square feet 100+ square feet for every unit	Yes
Parking*	38 parking spaces	56 total parking spaces 50 spaces for residents 6 spaces for guests	Yes

* Per CA Gov Code 65915, 37.5 spaces (rounded up to 38) are required for this development. In addition, state law doesn't require guest spaces be provided.

Architecture

The proposed architectural design of the buildings is contemporary with Modern Barn Style design elements including minimalist gable roofs with varying slopes, no eaves, and finished in Santa Barbara smooth trowel plaster or stained cedar vertical wood siding. All building windows would be finished with dark brown mullions and frames, and the roofs would be finished with gray asphalt shingle to tie into the overall contemporary color scheme. The building orientation and articulation would reduce massing and create a streetscape of interest along State College Boulevard. The proposed building frontage would utilize landscaping to provide visual interest for pedestrians and paved walkways for pedestrian access from the public State College Boulevard.

Landscaping

The proposed Project would provide common space, which would include landscaping throughout, an open deck on the second level above the garage entry, and an open terrace at the rear of the property between the buildings. Both areas would include outdoor seating with built-in barbeque areas. Each unit is also provided with private open space in the form of a terrace. In addition to a terrace, eight units include

private roof decks. Landscaping would include trees, shrubs, and ground cover including along the frontage of State College Boulevard. Tree species would include Olive (fruiting and fruitless varieties), Dragon Tree, Bay Laurel, Fern Pine, African Sumac, Water Gum, and Hybrid Strawberry Tree.

As detailed in the findings contained in Resolution No. ZA-2023-02, the Project as proposed and conditioned complies with the relevant development standards and design criteria specified, and the proposed use is permitted by right in the zone.

CEQA

This proposed State College Townhomes project (Project) qualifies for a Categorical Exemption under Section 15332 - In-Fill Development Projects (Class 32) of the California Environmental Quality Act (CEQA) Guidelines. This Class 32 Exemption consists of environmentally benign infill projects that are consistent with the General Plan and Zoning designations and requirements. This class of projects is characterized as in-fill development meeting the following conditions:

a. The Project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations.
b. The proposed development occurs within City limits on a Project site of no more than five acres substantially surrounded by urban uses.
c. The Project site has no value as habitat for endangered, rare, or threatened species.
d. Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
e. The site can be adequately served by all required utilities and public services.

As outlined in the Substantial Evidence for Notice of Exemption Memorandum, included as Attachment 3, the Project is consistent with the required conditions for a Class 32 exemption and the Project would not have a significant effect on the environment due to unusual circumstances. Neither the Project site, nor the proposed Project, has any features or characteristics that would distinguish it from other in-fill projects in an urban environment; therefore, there are no unusual circumstances.

Attachments

1. Draft Resolution ZA-2023-02
2. Plans
3. Memorandum - Substantial Evidence for Notice of Exemption

245 STATE COLLEGE TOWNHOMES

245 N. STATE COLLEGE BLVD.
FULLERTON CA, 92831

MINOR SITE PLAN REVIEW

1544 20th street SM, CA
t+310.394.4040
info@dfhaus.com
www.dfhaus.com

dfh architects
architecture
interiors
entitlements

.
245 N State College Blvd
Fullerton, CA 92831

MINOR SITE PLAN REVIEW
MARCH 16,2022

COVER SHEET

LICENSED ARCHITECT
KARA L. BLOCKI
C-32273
09/30/2021
DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 09/14/20
Scale:
By: Author
Project No: 2008
Page No: T-0.0 OF

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1544 20th street SM, CA
(310) 394.4040
info@dfhaa.com
www.dfhaa.com

dfh architects
architecture
interiors
entitlements

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245 N State College Blvd
Fullerton, CA 92831

MINOR SITE PLAN REVIEW
MARCH 16,2022

RENDERING

LICENSED ARCHITECT
KARA L. BLOCKI
C-32273
09/30/2021
DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 10/06/18
Scale:
By: Author
Project No:
2008
Page No:
T-0.01
OF

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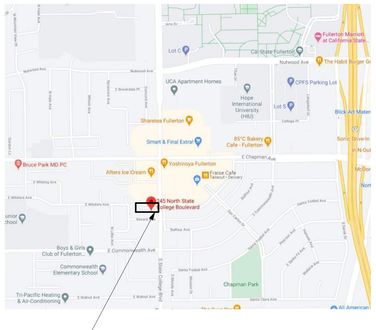
ABBREVIATIONS

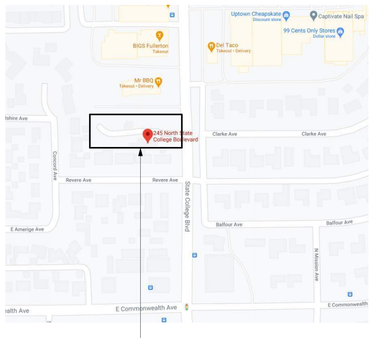
A/C	AIR CONDITIONING	MTL.	METAL
A.C.	ASPHALTIC CONCRETE PAVING	N	NORTH
		(N)	NEW
A.D.	AREA DRAIN	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISH FLOOR	NO.	NUMBER
ALUM.	ALUMINUM	N.T.S.	NOT TO SCALE
B.B.	BREAD BOARD	O.C.	ON CENTER
BD.	BOARD	OPNG.	OPENING
BLDG.	BUILDING	OPP.	OPPOSITE
BLKG.	BLOCKING	P.A.	PLANTING AREA
BOT.	BOTTOM	P.C.	PRE-CAST CONCRETE
C.L.	CENTER LINE	P.P.	POWER POLE
CLG.	CEILING	PL.	PLATE
CLR.	CLEAR	P.L.	PROPERTY LINE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD.	PLYWOOD
		PLMB.	PLUMBING
COL.	COLUMN	PR.	PAIR.
CONC.	CONCRETE	PT.	PAINT
CONC. BLK.	CONCRETE BLOCK	R.	RISER
CONST.	CONSTRUCTION	R.A.	RETURN AIR
CONT.	CONTINUOUS	RAD.	RADIUS
DIA.	DIAMETER	R.D.	ROOF DRAIN
DIM.	DIMENSION	RECP.	RECEPTACLE
DN.	DOWN	REF.	REFRIGERATOR
D.S.	DOWN SPOUT	REINF.	REINFORCED
DTL.	DETAIL	REQ'D.	REQUIRED
DWG.	DRAWING	REV.	REVISION
(E)	EXISTING	RF.	ROOF
ELEC.	ELECTRIC	RM.	ROOM
E.V.	ELECTRIC VEHICLE	R.O.	ROUGH OPENING
ELEV.	ELEVATION	S.A.	SUPPLY AIR
EQ.	EQUAL	S.C.	SOLID CORE
EQIUP.	EQUIPMENT	S.D.	STORM DRAIN
EXIST.	EXISTING	S.F.	SQUARE FEET
EXT.	EXTERIOR	SHTG.	SHEATHING
F.F.	FINISH FLOOR	SHT. MTL.	SHEET METAL
F.G.	FINISH GRADE	SIM.	SIMILAR
FIN.	FINISH	S/S	STAINLESS STEEL
FLR.	FLOOR	STL.	STEEL
F.O.C.	FACE OF CONCRETE	STR.	STRUCTURAL
F.O.M.	FACE OF MASONRY	SUBFLR.	SUB-FLOOR
F.O.S.	FACE OF STUD	SUSP.	SUSPENDED
FP.	FIREPLACE	T.	TREAD
FT.	FEET	T & G	TONGUE AND GROOVE
FTG.	FOOTING	THK.	THICK
G.	GAS	T.O.	TOP OF
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZE	U.G.	UNDERGROUND
GL.	GLASS	U.O.N.	UNLESS OTHERWISE OTED
GYP.	GYPSUM		
H.B.	HOSE BIBB	U.N.O.	UNLESS NOTED OTHERWISE
H.C.	HOLLOW CORE		
HD.	HEAD	UNF.	UNFINISHED
HT.	HEIGHT	W.	WATER
H.V.A.C.	HEATING, VENTILATING & AIR CONDITIONING	W/	WITH
		W.C.	WATER CLOSET
		WD.	WOOD
H.W.	HOT WATER	W.H.	WATER HEATER
INT.	INTERIOR	W.I.	WROUGHT IRON
LAV.	LAVATORY	W/O	WITHOUT
LT.	LIGHT	W.O.	WHERE OCCURS
MAX.	MAXIMUM	W.P.	WATER PROOF
M/C	MEDICINE CABINET	W.W.M.	WELDED WIRE MESH
MECH.	MECHANICAL		
MFGR.	MANUFACTURER		
MIN.	MINIMUM		

LOCATION MAP



245 N STATE COLLEGE BLVD
FULLERTON, CA 92831

VICINITY MAP



PROJECT
SITE

PROJECT DIRECTORY

OWNER:
Geotech Development Corporation
324 N. Marie Ave
Fullerton, CA 92833
(714)726-7383
Attn: Konstantinos Kapogianis

LANDSCAPE ARCHITECT:
Alex Koutzoukis
Landscape Architect
CA RLA #6327
(714)519-1027
Attn: Alex Koutzoukis

ARCHITECT:
DFH Architects, LLP
1544 20th St
Santa Monica, CA 90404
(310)394-4045
Attn: Kara Block

SYMBOLS LEGEND

SYMBOL	DESCRIPTION
( )	EXISTING CONDITION
+461.0' T.O.P.	NEW OR REQUIRED POINT ELEVATION LOCATION
(+461.0') T.O.P.	EXISTING POINT ELEVATION LOCATION
268	EXISTING CONTOUR LINE
320	NEW CONTOUR LINE
	MATCH LINE, SHADED PORTION SIDE SHOWN
	LEVEL LINE, CONTROL POINT OR DATUM
	PROPERTY LINE, BOUNDARY LINES
	CENTER LINE, EXTERIOR ELEVATION LINES
	OUTLINE OF OBJECTS ABOVE, FIXTURES N.I.C.
	OUTLINE OF HIDDEN OBJECTS BELOW
	EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION REFERENCE DRAWING NUMBER
SIM 1 A-1	DETAIL NUMBER REFERENCE DRAWING NUMBER
	WALL SECTION OR ELEVATION NUMBER REFERENCE DRAWING NUMBER
	DOOR NUMBER
EW9	WALL REFERENCE
A	WINDOW NUMBER
A / A	MATERIAL REFERENCE / COLOR REFERENCE
12	EQUIPMENT NUMBER
1	REVISION
N	PROJECT NORTH (MAGNETIC NORTH ARROW ON PLOT SITE PLAN ONLY)
0 / 0	REFERENCE GRIDS

CODES AND AGENCIES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

FULERTON BUILDING CODES IN EFFECT, INCLUDING LOCAL AMENDMENTS, AS OF JANUARY 1, 2020:

2019 CALIFORNIA BUILDING CODE ('19 CBC)

2019 CALIFORNIA PLUMBING CODE ('19 CPC)

2019 CALIFORNIA MECHANICAL CODE ('19 CMC)

2019 CALIFORNIA ELECTRICAL CODE ('19 CEC)

2019 CALIFORNIA RESIDENTIAL CODE ('19 CRC)

2019 CALIFORNIA ENERGY CODE ('19 ENERGY)

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE ('19 GBSC)

NFPA 13: 2016 STANDARDS FOR THE INSTALLATION OF SPRINKLER SYSTEM

NFPA 14: 2019 STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS

ALL WORK SHALL COMPLY WITH THE FOLLOWING CITY OF FULLERTON REGULATIONS, CODES AND AUTHORITIES:
A. BUILDING & SAFETY DEPT.
B. PLANNING & ZONING DEPT.
C. FIRE DEPT.
D. PUBLIC WORKS DEPT.
E. ENGINEERING DEPT.

PROJECT SUMMARY

ADDRESS: 245 N. STATE COLLEGE BLVD
FULLERTON, CA 92831

NOTE : THIS PROJECT IS 100% PRIVATELY FUNDED

APN: 26906408

PROPOSED PROJECT: 2-STORY MULTI-FAMILY RESIDENTIAL TOWNHOMES OVER 1-LEVEL SUBTERRANEAN PARKING,

ZONING: R-G GARDEN-TYPE MULTIPLE RESIDENTIAL

HEIGHT LIMIT: 31'-0" / 2 STORIES
(20' / 1 STORY + DENSITY BONUS INCREASE 11' / 1 STORY = 31'-0" / 2 STORIES)

OCCUPANCY CLASSIFICATION: R-2 RESIDENTIAL (SEC 310.4)
S-2 PARKING GARAGE (SEC. 311.3)

CONSTRUCTION TYPE: **TYPE V-A** FOR ABOVE GRADE R-2 OCCUPANCY
W/ NFPA-13 AUTOMATIC FIRE SPRINKLER SYSTEM AND A STANDPIPE SYSTEM COMPLIANT WITH NFPA STANDARD 14.

TYPE I-A FOR SUBTERRANEAN GARAGE S-2 OCCUPANCY
W/ NFPA-13 AUTOMATIC FIRE SPRINKLER SYSTEMAND A STANDPIPE SYSTEM COMPLIANT WITH NFPA STANDARD 14.

DENSITY

ALLOWABLE DENSITY:
LOT AREA: = 30,947 SF

LOT COVERAGE: R-G ZONE 60% MAXIMUM LOT COVERAGE ALLOWED .6 X 30,947 SF = 18,568 SF

ALLOWABLE DENSITY = 1/1,600 SF PER DWELLING UNIT W/ SUBTERRANEAN PARKING
= 1,600 SF / 30,926 SF = 19 UNITS WITH SUBTERRANEAN PARKING
35% DENSITY BONUS INCREASE = 19 x 1.35 = 25.6 = 26 UNITS

PROVIDED TOTAL LOT COVERAGE = 17,527 SF (56.6%) < 60% COVERAGE = COMPLIES

PROVIDED DENSITY/UNIT MIX:
2 BEDROOM 13
3 BEDROOM 12
PROVIDED 25 UNITS (22 MARKET RATE + 3 VERY LOW INCOME)
15% OF 19 UNITS DEDICATED TO VERY LOW INCOME

DENSITY BONUS (3) INCENTIVES:
1) INCREASE IN HEIGHT
2) REDUCTION IN OPEN SPACE REQUIREMENTS
3) REDUCTION IN REQUIRED SETBACKS (FRONT YARD AND WINDOW TO WINDOW SEPARATION).

BASE HEIGHT = 1 STORY / 20'-0"
DENSITY BONUS HEIGHT LIMIT = 2 STORIES / 31'-0"

Area Schedule (F.A.R.)	
Level	Area
1ST FLOOR / GROUND LEVEL	14457 SF
2ND FLOOR	14250 SF
	28708 SF

OPEN SPACE

OPEN SPACE REQUIRED
800 SF FOR EACH UNIT 2 BEDROOM = 13 x 800 = 10,400SF
1000 SF FOR EACH UNIT 3 BEDROOM = 12 x 1000 = 12,000SF

TOTAL REQUIRED OPEN SPACE = 22,400SF

COMMON AND OPEN TO SKY OPEN SPACE PROVIDED: 8,708 SF

PRIVATE OPEN SPACE : 7,223 SF

TOTAL OPEN SPACE PROVIDED = 15,930 SF (22,400 SF REQUIRED)

REQUESTED OPEN SPACE REDUCTION = 29%

REQUIRED YARD SETBACKS

(PER FMC TABLE 15.17.070.E)

1ST FLOOR RESIDENT
FRONT = (EAST) = 15'-0"
SIDE (NORTH - LIVING/FAMILY ROOM) = 7'-0'
SIDE (SOUTH - LIVING/FAMILY ROOM) = 7'-0"
REAR (WEST - LIVING/FAMILY ROOM) = 7'-0"

2ND FLOOR RESIDENTIAL
FRONT = (EAST) = 15'-0"
SIDE (NORTH - BEDROOM/KITCHEN) = 9'-0'
SIDE (SOUTH - BEDROOM/KITCHEN) = 9'-0"
REAR (WEST - BEDROOM/KITCHEN) = 9'-0"

(PER FMC TABLE 15.17.070.D)

REQUEST REDUCTION OF WINDOW-TO-WINDOW SEPARATION

SEE A-2.02 TO A-2.03 FOR PROPOSED ON SITE WINDOW-TO-WINDOW SETBACKS OF 10'-0" TO 20'-0"

PARKING CALCULATIONS

RESIDENTIAL PARKING SPACES REQUIRED PER DENSITY BONUS:

PARKING SPACES REQUIRED
2 SPACES PER 2-3 BEDROOM = 22 X 2 = 44 SPACES
5 SPACES PER VLI UNITS = 3 X .5 = 1.5 SPACES
TOTAL REQUIRED = 46 SPACES

RESIDENTIAL PARKING SPACES PROVIDED (ASSIGNED):

STANDARD = 49
ACCESSIBLE = 2% OF 56 = 2 ADA REQUIRED + 1 EV ADA VAN
COMPACT = 4
TOTAL PARKING PROVIDED = 56

GUEST PARKING PROVIDED = 6 SPACES

ELECTRIC VEHICLE:
10% OF REQ'D RESIDENTIAL STALLS = 10% (56) = 5.6 (6 STALLS)

BICYCLE PARKING REQUIRED/PROVIDED
PER CGBSC 5.106.4.1 BICYCLE PARKING

LONG TERM 56 X .05 = 2.8 = 3 REQUIRED BICYCLE PARKING SPACES
(MIN 5% OF VEHICHLE PARKING)

SHORT TERM 0 X .05 = 0 (MIN (1) 2-BIKE RACK REQUIRED PER CODE)

SHEET INDEX

ARCHITECTURE

Sheet List	
Sheet Number	Sheet Name
A-1.03	FIRE MASTER PLAN
T-0.0	COVER SHEET
T-1.01	PROJECT DATA - ZONING
T-1.02	PROJECT DATA - BUILDING
T-1.03	SITE PHOTOS
T-1.04	ZONING F.A.R. PLANS AND CALCULATIONS
T-1.05	OPEN SPACE CALCULATIONS
T-1.06	BUILDING AREA DIAGRAM
A-1.01	SURVEY PLAN
A-1.02	PROPOSED SITE PLAN
A-2.01	BASEMENT LEVEL
A-2.02	1ST FLOOR / GROUND LEVEL
A-2.03	2ND FLOOR
A-2.04	ROOF LEVEL
A-3.01	BUILDING SECTIONS
A-4.01	EXTERIOR ELEVATION
A-4.02	EXTERIOR ELEVATION
A-3.02	BUILDING SECTIONS
A-4.03	EXTERIOR MATERIAL
A-5.02	TYPICAL UNIT PLANS
A-5.01	TYPICAL UNIT PLANS
A-10.3	EXTERIOR DETAILS
A-10.5	ROOF DETAILS
CIVIL	
C01	TITLE SHEET
C02	GRADING PLAN
C03	UTILITY PLAN
C04	PRELIMINARY WATER QUALITY MANAGEMENT PLAN
C05	SECTIONS
LANDSCAPE	
L.1.1	CONCEPTUAL LANDSCAPE PLAN
L.1.2	ROOFTOP CONCEPTUAL LANDSCAPE PLAN
L.2.1	CONCEPTUAL PLANTING PLAN
L.2.2	PLANTING PALETTE - TREES
L.2.3	PLANT PALETTE - SHRUBS
L.3.1	CONCEPTUAL LANDSCAPE WALL & FENCE PLAN
L.3.2	CONCEPTUAL LANDSCAPE WALL & FENCE ELEVATIONS

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MINOR SITE PLAN REVIEW
MARCH 16,2022

PROJECT DATA - ZONING

LICENSED ARCHITECT KARA L BLOCK C-32273 09/30/2021 DATE STATE OF CALIFORNIA

-Preliminary review application

Date: 10/03/18
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Page No: T-1.01 OF

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ALLOWABLE BUILDING HEIGHT

CONSTRUCTION TYPE: TYPE I-A W/ AUTOMATIC SPRINKLER SYSTEM - NFPA 13 (BASEMENT LEVEL) TYPE V-A W/ AUTOMATIC SPRINKLER SYSTEM - NFPA 13 (1ST - 2ND FLOOR)

OCCUPANCY CLASSIFICATION: S-2 PARKING GARAGE, STORAGE (SEC. 311.3) R-2 RESIDENTIAL DWELLING UNITS AND ACCESSORIES (SEC. 310.4)

TYPE I-A - ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE:
TABLE 504.3, S-2 (S WITHOUT AREA INCREASE) = UNLIMITED

TYPE I-A ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE: DL
TABLE 504.4, S-2 (S WITHOUT AREA INCREASE) = UNLIMITED

TYPE V-A ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE:
TABLE 504.3, R-2 (S WITHOUT AREA INCREASE) = 70 FEET

TYPE V-A ACTUAL BUILDING HEIGHT:
30'-6" MEASURED FROM AVERAGE GRADE PLANE (**211.87'**) TO ROOF STRUCTURE (242.5')

TYPE V-A ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE:
TABLE 504.4, R-2 (S WITHOUT AREA INCREASE) = 4 STORIES

TYPE V-A ACTUAL NUMBER OF STORIES:
3-STORIES ABOVE HORIZONTAL SEPARATION (ALLOWED PER SEC. 510.2)

TOTAL BUILDING HEIGHT (TYPE V): 3-STORIES ABOVE AVERAGE GRADE PLANE 30'-6" (31' ALLOWED)

ALLOWABLE BUILDING AREA

TYPE I-A (GARAGE LEVEL) - OCCUPANCY S-2
UNLIMITED AREA ALLOWED PER TABLE 506.2

TYPE V-A (FLOORS 1- 2) - OCCUPANCY R-2 -
ALLOWABLE AREA PER BELOW
(SEE SHEET T-1.05 FOR DIAGRAMS)

AREA DETERMINATION (TABLE 506.2- FOR R-2 OCCUPANCY):

AREA, BUILDING. THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS (OR EXTERIOR WALLS AND FIRE WALLS) EXCLUSIVE OF VENT SHAFTS AND COURTS. AREAS OF THE BUILDING NOT PROVIDED WITH SURROUNDING WALLS SHALL BE INCLUDED IN THE BUILDING AREA IF SUCH AREAS ARE INCLUDED WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE.

506.2.3 SINGLE-OCCUPANCY, MULTISTORY BUILDINGS
Aa = {At + (NS x If)} x Sa
Aa = {36,000 SF + 36,000 X 0} x 2
Aa = 72,000 SF
(NO INDIVIDUAL STORY TO EXCEED 36,000 SF)

Residential Area (R-2) - Type V-A	
Name	Area
Building A	15954 SF
Building B	5895 SF
Building C	2376 SF
Building D	2376 SF
Building E	2376 SF
Building F	2376 SF
TOTAL	31353 SF

(72,000 S.F. ALLOWABLE)

AVERAGE NATURAL GRADE

AVERAGE NATURAL GRADE* (SEE SHEET A-1.02):
NORTH: (212.01' + 212.34') / 2 = 212.175'
EAST: (212.34' + 211.30') / 2 = 212.82'
SOUTH: (210.84' + 211.30') / 2 = 211.07'
WEST: (210.84' + 212.01') / 2 = 211.425'
TOTAL: 847.49' / 4 = **211.87'**

BUILDING CODE GROSS AREA BREAKDOWN

*Area Schedule (F.A.R.)	
Level	Area
1ST FLOOR / GROUND LEVEL	14457 SF
2ND FLOOR	14250 SF
TOTAL	28708 SF

Residential Area (R-2) - Type V-A	
Name	Area
Building A	15954 SF
Building B	5895 SF
Building C	2376 SF
Building D	2376 SF
Building E	2376 SF
Building F	2376 SF
TOTAL	31353 SF

PARKING GARAGE (S-2) - Type I-A	
Name	Area
Garage	25950 SF
TOTAL	25950 SF

NOTE: SEE BUILDING AREA DIAGRAMS ON T-1.05

FIRE RESISTIVE CONSTRUCTION REQUIREMENTS (HOURS) - TYPE I-A

CONSTRUCTION TYPE: TYPE I-A

STRUCTURAL FRAME: 3-HOUR TABLE 601

BEARING WALLS - EXTERIOR: 3-HOUR TABLE 601

BEARING WALLS - INTERIOR: 3-HOUR TABLE 601

NONBEARING WALLS, PARTITIONS - EXTERIOR: 1-HOUR (SEPARATION LESS THAN OR EQUAL TO 30 FEET) TABLE 602

NONBEARING WALLS, PARTITIONS - INTERIOR: NOT RATED OR 2-HOUR PER PLAN TABLE 602

FLOOR CONSTRUCTION: INCLUDING SUPPORTING BEAMS AND JOISTS: 2-HOUR TABLE 601

ROOF CONSTRUCTION: INCLUDING SUPPORTING BEAMS AND JOISTS: 1 1/2-HOUR TABLE 601

SHAFT ENCLOSURES: 2-HOUR (SEC. 713.4)

STAIRWAY CONSTRUCTION: 2-HOUR (SEC. 1023.2)

SEPARATION WALLS: 1-HOUR (SEC. 708.3) OR 2-HOUR PER PLAN

FIRE WALLS: NOT REQUIRED

HORIZONTAL SEPARATIONS: 3-HOUR (SEC. 711.2.4)

CORRIDOR WALLS: N/A

AREA OF REFUGE: NOT REQUIRED

MAXIMUM AREA OF: EXTERIOR OPENINGS: SEE CBC TABLE 705.8

ELEVATOR LOBBY: 1-HOUR UNLESS ROLL-DOWN SMOKE FILM PARTITION IS PROVIDED

FIRE RESISTIVE CONSTRUCTION REQUIREMENTS (HOURS) - TYPE V-A

CONSTRUCTION TYPE: TYPE V-A

STRUCTURAL FRAME: 1-HOUR TABLE 601

BEARING WALLS - EXTERIOR: 1-HOUR (WITH FIRE TREATED WOOD FRAMING) TABLE 601

BEARING WALLS - INTERIOR: 1-HOUR TABLE 601

NONBEARING WALLS, PARTITIONS - EXTERIOR: 1-HOUR (SEPARATION LESS THAN OR EQUAL TO 30 FEET) TABLE 602

NONBEARING WALLS, PARTITIONS - INTERIOR: NOT RATED TABLE 602

FLOOR CONSTRUCTION: INCLUDING SUPPORTING BEAMS AND JOISTS: 1-HOUR TABLE 601

ROOF CONSTRUCTION: INCLUDING SUPPORTING BEAMS AND JOISTS: 1-HOUR TABLE 601

SHAFT ENCLOSURES: 2-HOUR (SEC. 713.4)

STAIRWAY CONSTRUCTION: 2-HOUR (SEC. 1023.2)

SEPARATION WALLS: 1-HOUR (SEC. 708.3) OR 2-HOUR PER PLAN

HORIZONTAL SEPARATIONS: 1-HOUR (SEC. 711.2.4)

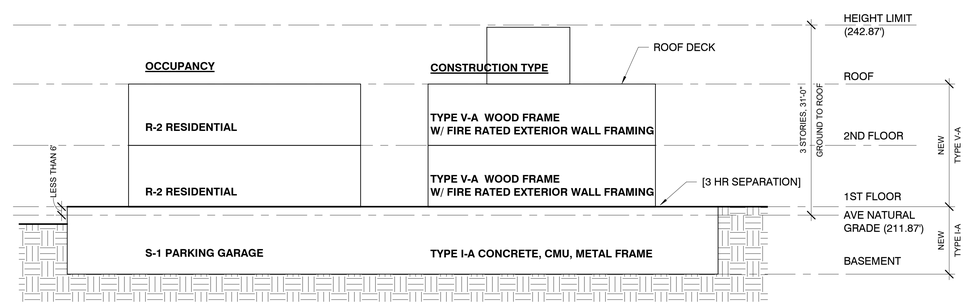
CORRIDOR WALLS: 1-HOUR (TABLE 1020.1) OR 2-HOUR PER PLAN

AREA OF REFUGE: NOT REQUIRED

MAXIMUM AREA OF: EXTERIOR OPENINGS: SEE CBC TABLE 705.8

ELEVATOR LOBBY: NOT REQUIRED
PROVIDE ROLL-DOWN SMOKE FILM PARTITIONS

BUILDING CONSTRUCTION DIAGRAM



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MINOR SITE PLAN REVIEW
MARCH 16,2022

PROJECT DATA - BUILDING

LICENSED ARCHITECT
KARA L. BECK
C-32273
09/30/20 21
REGISTRATION DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 10/03/18
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Page No: T-1.02
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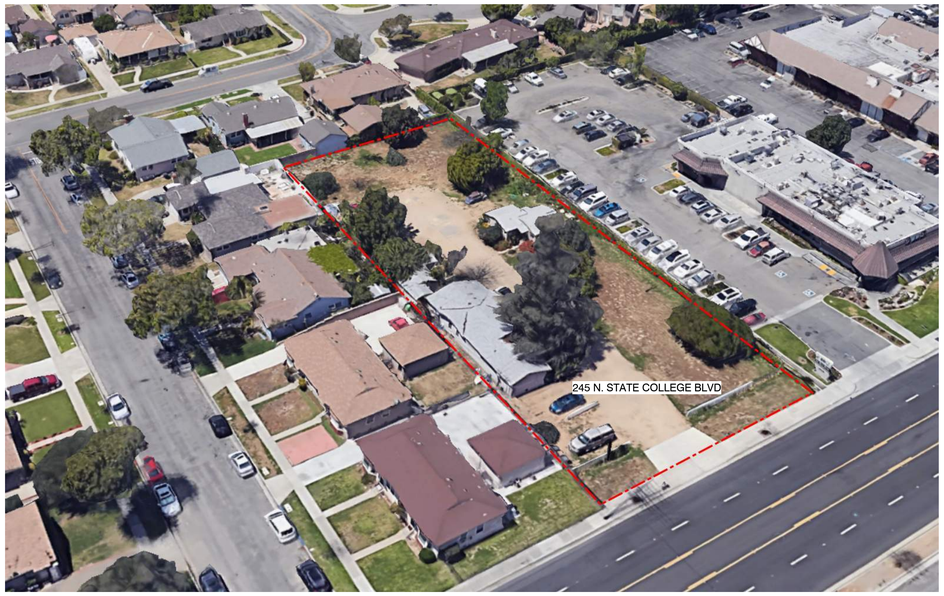
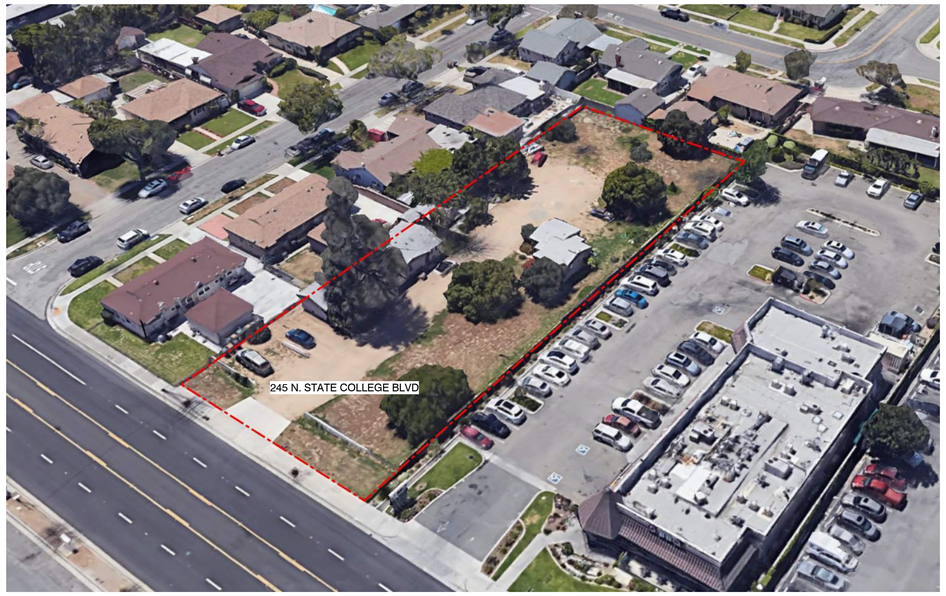
STATE COLLEGE BLVD VIEW LOOKING WEST

SOUTH EAST VIEW LOOKING NORTH ON STATE COLLEGE BLVD

NORTH EAST VIEW LOOKING SOUTH ON STATE COLLEGE BLVD



SOUTH EAST AERIAL VIEW LOOKING WEST



NORTH EAST AERIAL VIEW LOOKING WEST

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MARCH 16,2022

SITE PHOTOS

LICENSED ARCHITECT
KASAI L. BLOOM
C-32273
09/30/2021
EXPIRATION DATE
STATE OF CALIFORNIA

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Page No: T-1.03 OF

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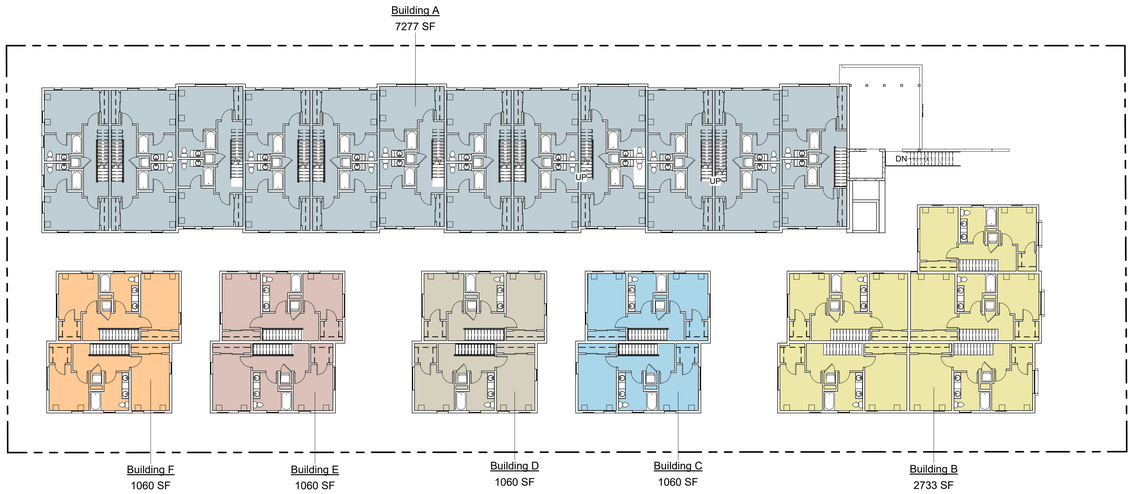

2ND FLOOR SCALE: 1/16" = 1'-0" 2

1ST FLOOR / GROUND LEVEL SCALE: 1/16" = 1'-0" 1

ZONING FLOOR AREA

FLOOR/AREA RATIO DEFINITION FMC. 15.04.040.

FLOOR/AREA RATIO (FAR) means the ratio of all enclosed and usable floor area of the building(s) (including the space therein devoted to stairwells, elevator shafts, light courts, hallways, restrooms, storage areas, etc.) to the total area of the parcel or parcels upon which the buildings(s) is/are located. A basement, carport, or garage having an interior height or less than ten feet from floor plate to top plate is not included in a floor/area ratio calculation.

Area Schedule (F.A.R.) (PLANS)		
Name	Level	Area
Building A	<varies>	14807 SF
Building B	<varies>	5393 SF
Building C	<varies>	2127 SF
Building D	<varies>	2127 SF
Building E	<varies>	2127 SF
Building F	<varies>	2127 SF
Totals		28708 SF

ALLOWABLE DENSITY:
LOT AREA: = 30,947 SF

LOT COVERAGE: R-G ZONE 60% MAXIMUM LOT COVERAGE ALLOWED .6 X 30,947 SF = 18,568 SF

ALLOWABLE DENSITY = 1/1,600 SF PER DWELLING UNIT W/ SUBTERRANEAN PARKING
= 1,600 SF / 30,926 SF = 19 UNITS WITH SUBTERRANEAN PARKING
35% DENSITY BONUS INCREASE = 19 x 1.35 = 25.6 = 26 UNITS

PROVIDED TOTAL LOT COVERAGE = 17,527 SF (56.6%) < 60% COVERAGE = COMPLIES

PROVIDED DENSITY/UNIT MIX:
2 BEDROOM 13
3 BEDROOM 12
PROVIDED 25 UNITS (22 MARKET RATE + 3 VERY LOW INCOME)
15% OF 19 UNITS DEDICATED TO VERY LOW INCOME

DENSITY BONUS (3) INCENTIVES:
1) INCREASE IN HEIGHT
2) REDUCTION IN OPEN SPACE REQUIREMENTS
3) REDUCTION IN REQUIRED SETBACKS (FRONT YARD AND WINDOW TO WINDOW SEPARATION).

BASE HEIGHT = 1 STORY / 20'-0"
DENSITY BONUS HEIGHT LIMIT = 2 STORIES / 31'-0"

Area Legend

- Building A
- Building B
- Building C
- Building D
- Building E
- Building F

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MINOR SITE PLAN REVIEW
MARCH 16,2022

ZONING F.A.R. PLANS AND CALCULATIONS

LICENSED ARCHITECT
ISAAC L. BLOOM
C-32273
09/30/2021
DATE
STATE OF CALIFORNIA

-Preliminary review application

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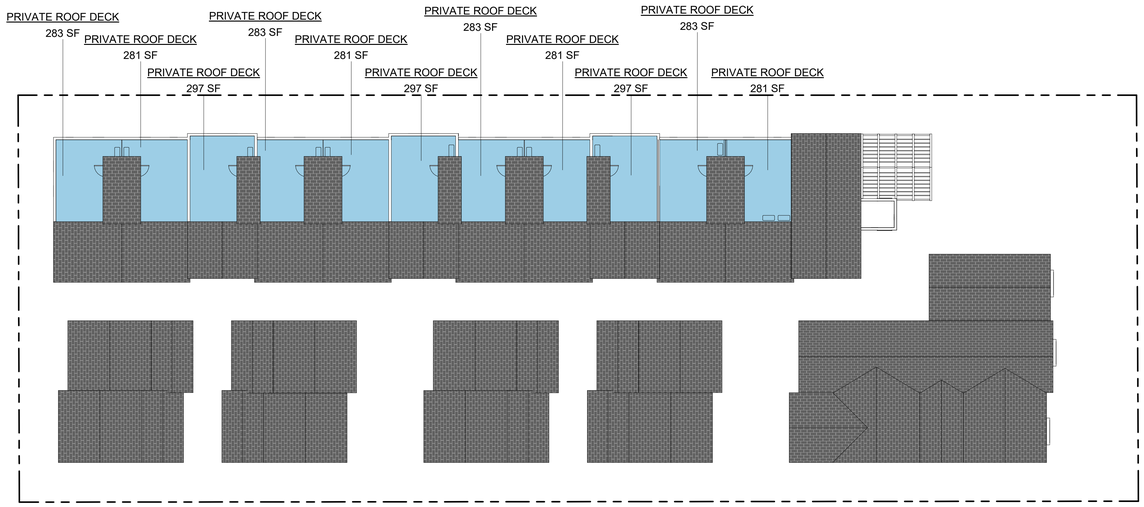
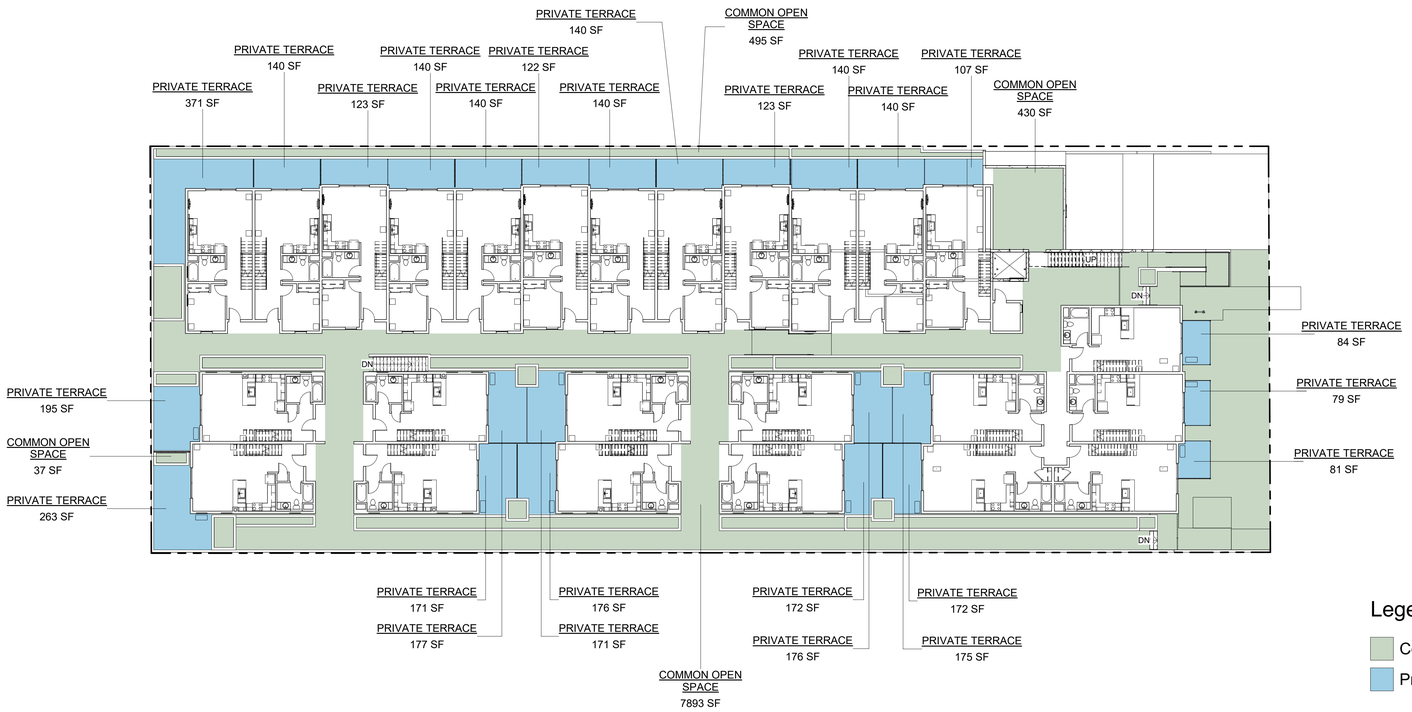


ROOF LEVEL SCALE: 1/16" = 1'-0" 3



Legend

- Common Open Space
- Private Open Space

1ST FLOOR / GROUND LEVEL SCALE: 1/16" = 1'-0" 1

OPEN SPACE

OPEN SPACE REQUIRED

800 SF FOR EACH UNIT 2 BEDROOM = 13 x 800 = 10,400SF
1000 SF FOR EACH UNIT 3 BEDROOM = 12 x 1000 = 12,000SF

TOTAL REQUIRED OPEN SPACE = 22,400SF

COMMON AND OPEN TO SKY OPEN SPACE PROVIDED: 8,655 SF

PRIVATE OPEN SPACE : 7,065 SF

TOTAL OPEN SPACE PROVIDED = 15,720 SF (22,400 SF REQUIRED)

REQUESTED OPEN SPACE REDUCTION = 30%

Area Schedule (Open Space)

Name	Area
COMMON OPEN SPACE	8655 SF
PRIVATE ROOF DECK	3147 SF
PRIVATE TERRACE	3918 SF
	15720 SF

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MINOR SITE PLAN REVIEW
MARCH 16,2022

OPEN SPACE CALCULATIONS

LICENSED ARCHITECT
MARK T. BLOCK
C-32273
09/30/20 21
REGISTRATION DATE
STATE OF CALIFORNIA

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Page No: T-1.05 OF

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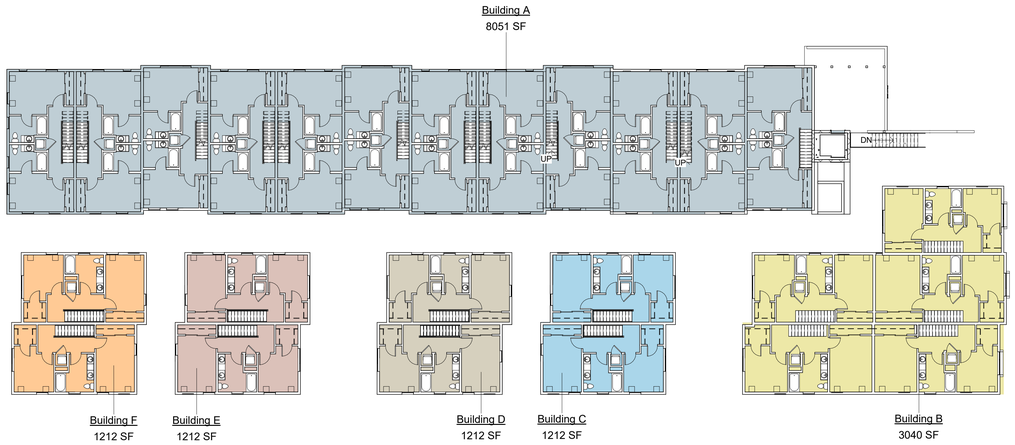
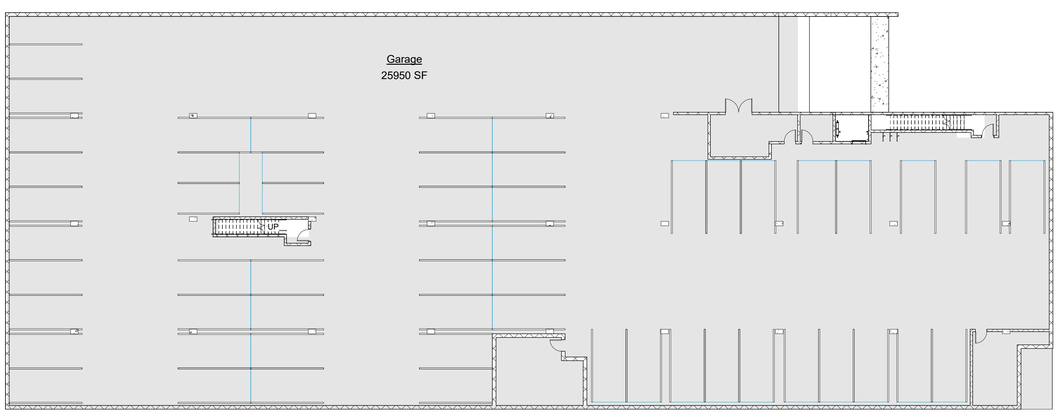


2ND FLOOR SCALE: 1/16" = 1'-0" 2

1ST FLOOR / GROUND LEVEL SCALE: 1/16" = 1'-0" 1



Schema 1 Legend

Garage

BASEMENT LEVEL SCALE: 1/16" = 1'-0" 3

ALLOWABLE BUILDING AREA

Area Schedule (Occupancy Type)		
Name	Construction Type	Area
Building A	TYPE V-A	15954 SF
Building B	TYPE V-A	5895 SF
Building C	TYPE V-A	2376 SF
Building D	TYPE V-A	2376 SF
Building E	TYPE V-A	2376 SF
Building F	TYPE V-A	2376 SF
		31353 SF
Garage	TYPE I -A	25950 SF
		25950 SF
TOTAL		57302 SF

Schema 1 Legend

- Building A
- Building B
- Building C
- Building D
- Building E
- Building F

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MINOR SITE PLAN REVIEW
MARCH 16,2022

BUILDING AREA DIAGRAM

LICENSED ARCHITECT
MARK T. BLOCK
C-32273
09/30/20 21
REGISTRATION DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 10/03/18
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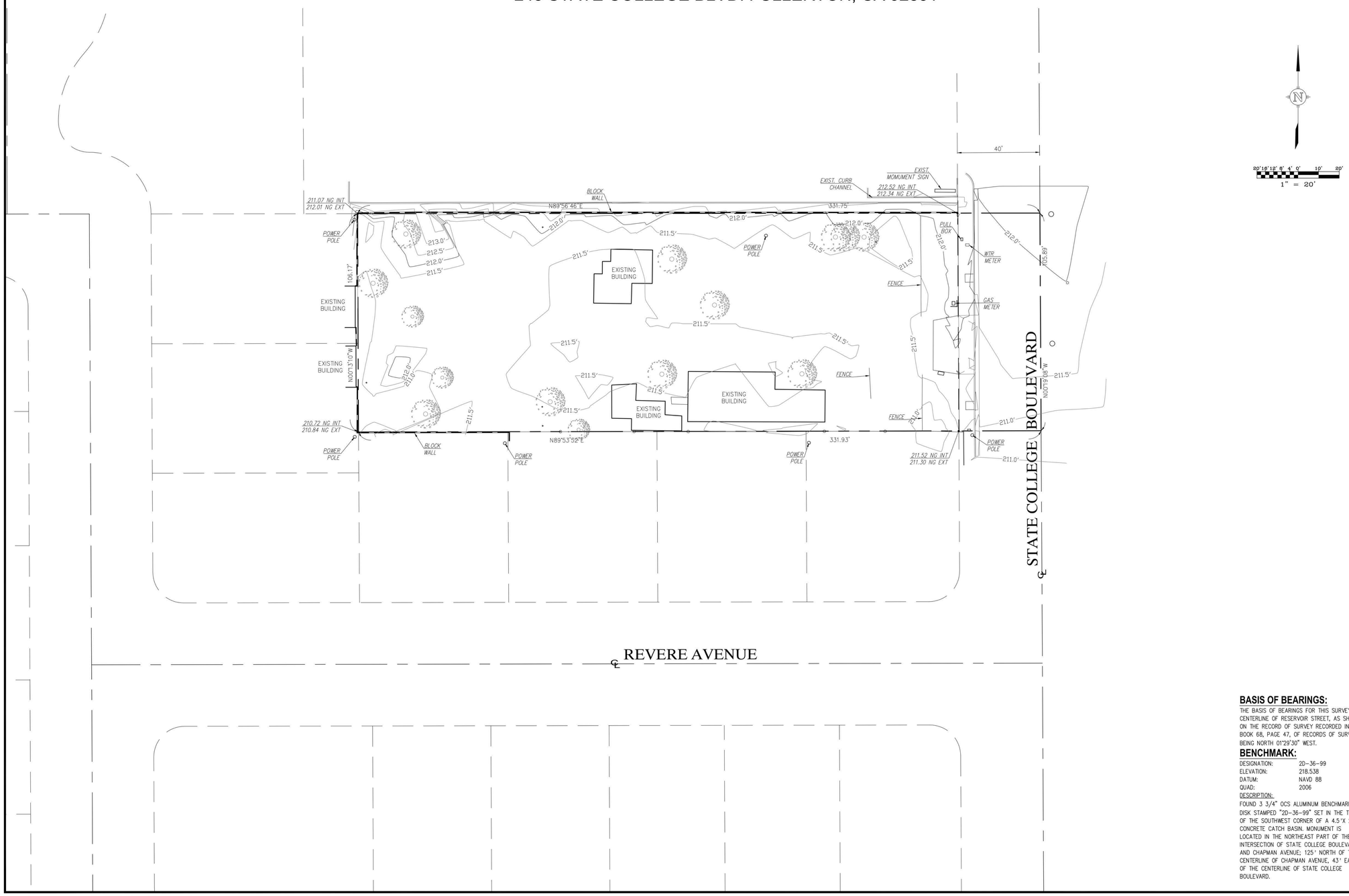
10/29/2021 2:56:01 PM

TOPOGRAPHIC SURVEY

245 STATE COLLEGE BLVD. FULLERTON, CA 92831



BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY THE CENTERLINE OF RESERVOIR STREET, AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 68, PAGE 47, OF RECORDS OF SURVEY, BEING NORTH 01°29'30" WEST.

BENCHMARK:

DESIGNATION:	2D-36-99
ELEVATION:	218.538
DATUM:	NAVD 88
QUAD:	2006

DESCRIPTION:

FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "2D-36-99" SET IN THE TOP OF THE SOUTHWEST CORNER OF A 4.5'X 29' CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEAST PART OF THE INTERSECTION OF STATE COLLEGE BOULEVARD AND CHAPMAN AVENUE; 125' NORTH OF THE CENTERLINE OF CHAPMAN AVENUE, 43' EAST OF THE CENTERLINE OF STATE COLLEGE BOULEVARD.

REVISIONS:

PLUMP ENGINEERING, INC.
CONSULTING ENGINEERS IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, SURVEYING, AND ARCHITECTURAL
914 E. KATELLA AVENUE
SANTA ANA, CALIFORNIA 92705
(714) 385-1835 FAX (714) 385-1834

TOPOGRAPHIC SURVEY

STATE COLLEGE TOWNHOMES
245 STATE COLLEGE BLVD.
FULLERTON, CA 92831

PREPARED FOR: GEOTECH DEVELOPMENT CORPORATION

SHEET 1 OF 1	SCALE: 1" = 20'
	DATE: 12/08/2020
	DRAWN BY: GSM
FILE NO. 2011018	CHK'D. BY: RDF

1544 20th street SM, CA
(310) 394-4045
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www.dfharch.com
dfh architects
interior architecture

. 245 N State College Blvd
Fullerton, CA 92831

MINOR SITE PLAN REVIEW
MARCH 16,2022

SURVEY PLAN

-Preliminary review application

Date: 10/03/18
Scale:
By: Author
Project No: 2008
Page No: A-1.01 OF

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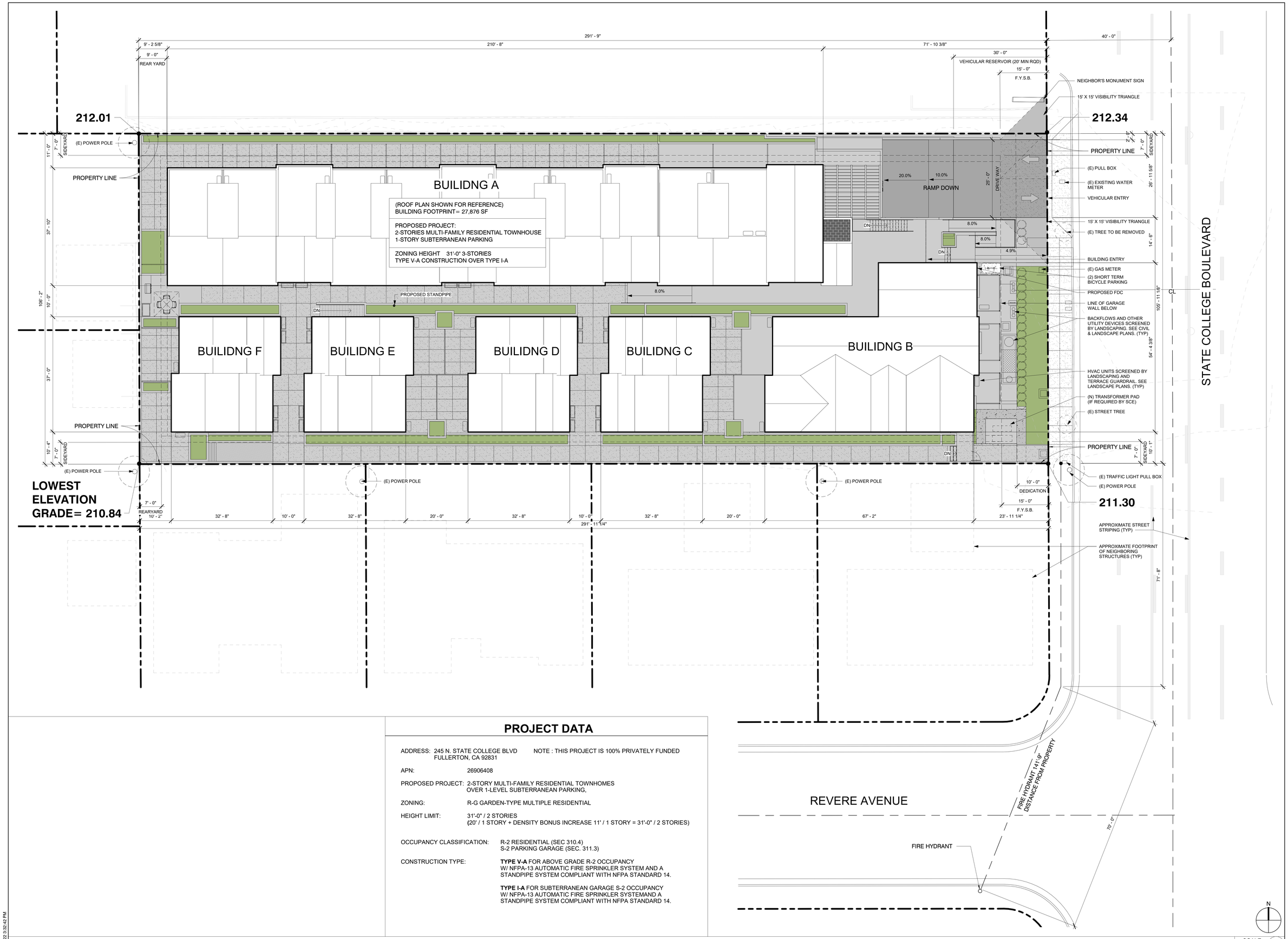

PROJECT DATA

ADDRESS: 245 N. STATE COLLEGE BLVD
FULLERTON, CA 92831

NOTE : THIS PROJECT IS 100% PRIVATELY FUNDED

APN: 26906408

PROPOSED PROJECT: 2-STORY MULTI-FAMILY RESIDENTIAL TOWNHOMES OVER 1-LEVEL SUBTERRANEAN PARKING,

ZONING: R-G GARDEN-TYPE MULTIPLE RESIDENTIAL

HEIGHT LIMIT: 31'-0" / 2 STORIES
(20' / 1 STORY + DENSITY BONUS INCREASE 11' / 1 STORY = 31'-0" / 2 STORIES)

OCCUPANCY CLASSIFICATION: R-2 RESIDENTIAL (SEC 310.4)
S-2 PARKING GARAGE (SEC. 311.3)

CONSTRUCTION TYPE: **TYPE V-A** FOR ABOVE GRADE R-2 OCCUPANCY W/ NFPA-13 AUTOMATIC FIRE SPRINKLER SYSTEM AND A STANDPIPE SYSTEM COMPLIANT WITH NFPA STANDARD 14.

TYPE I-A FOR SUBTERRANEAN GARAGE S-2 OCCUPANCY W/ NFPA-13 AUTOMATIC FIRE SPRINKLER SYSTEMAND A STANDPIPE SYSTEM COMPLIANT WITH NFPA STANDARD 14.

SITE PLAN SCALE: 3/32" = 1'-0" 1

3/16/2022 3:32:42 PM

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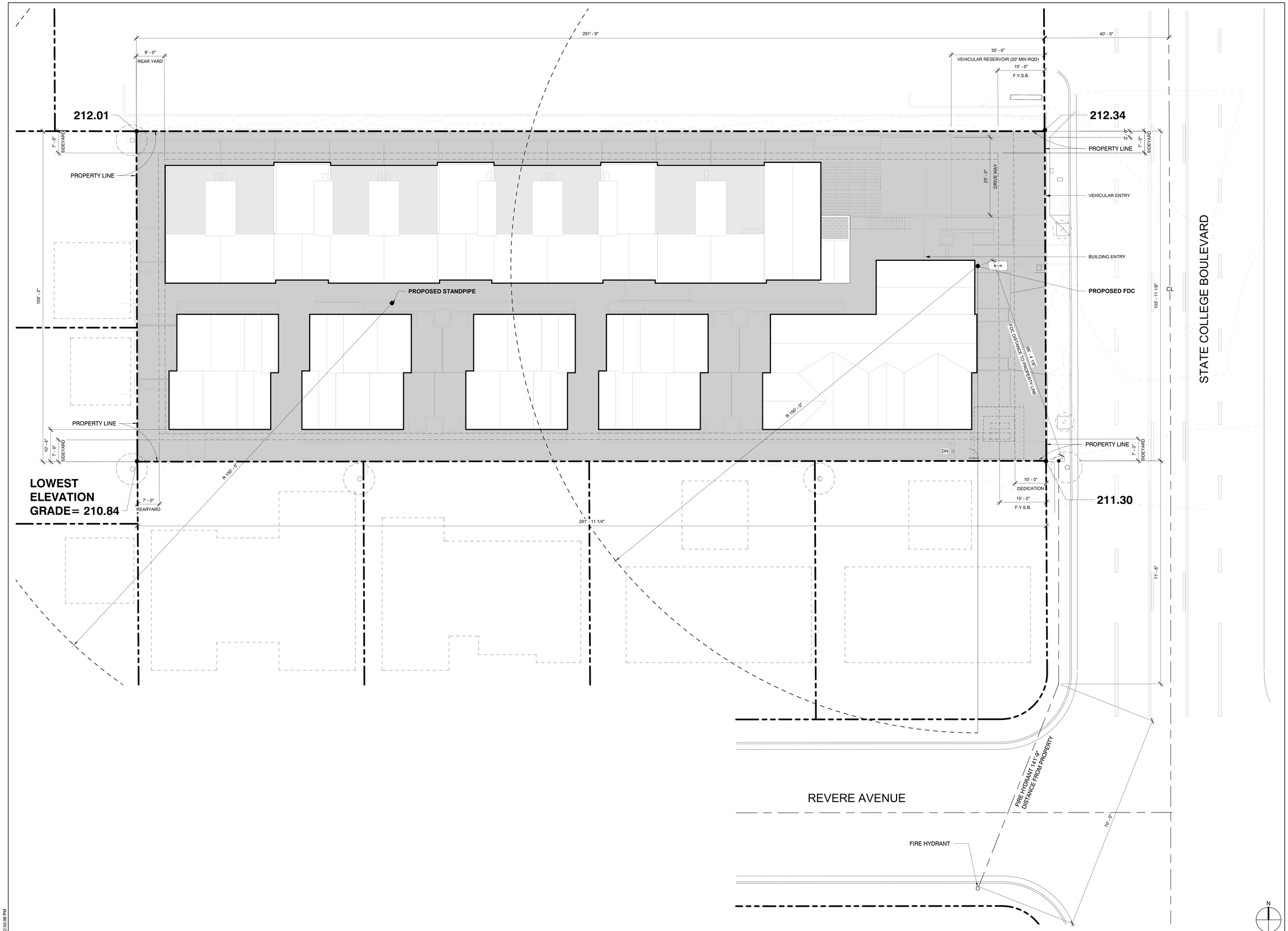
MINOR SITE PLAN REVIEW
MARCH 16, 2022

PROPOSED SITE PLAN

LICENSED ARCHITECT
ISAAC L. BLOCK
C-32273
09/30/2021
EXPIRATION DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 9/15/2020
Scale: 3/32" = 1'-0"
By: DFH
Project No: 2008
Page No: A-1.02
OF



FIRE MASTER PLAN | SCALE: 3/32" = 1'-0" | 1

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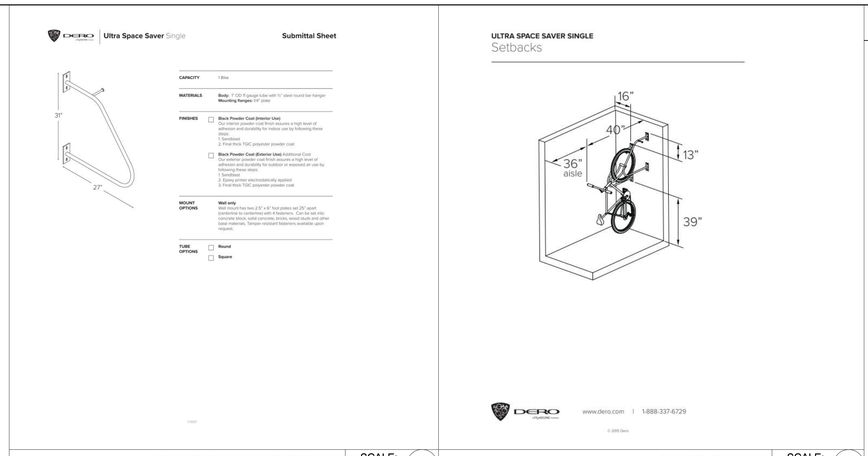
MINOR SITE PLAN REVIEW
MARCH 16,2022

FIRE MASTER PLAN

LICENSED ARCHITECT
KASIA L. BLOCKI
C-32273
09/30/20 21
EXPIRATION DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 10/04/21
Scale: 3/32" = 1'-0"
By: Author
Project No: 2008
Page No: A-1.03 OF



BIKE RACK DETAIL — SCALE: 1" = 1'-0" (3)

BIKE RACK — SCALE: 1" = 1'-0" (2)

PARKING CALCULATIONS

RESIDENTIAL PARKING SPACES REQUIRED PER DENSITY BONUS:

PARKING SPACES REQUIRED
- 2 SPACES PER 2-3 BEDROOM = 22 X 2 = 44 SPACES
- 5 SPACES PER VLI UNITS = 3 X .5 = 1.5 SPACES
- TOTAL REQUIRED = 46 SPACES

RESIDENTIAL PARKING SPACES PROVIDED (ASSIGNED):

STANDARD = 49
ACCESSIBLE = 2% OF 56 = 2 ADA REQUIRED + 1 EV ADA VAN
COMPACT = 4
TOTAL PARKING PROVIDED = 56

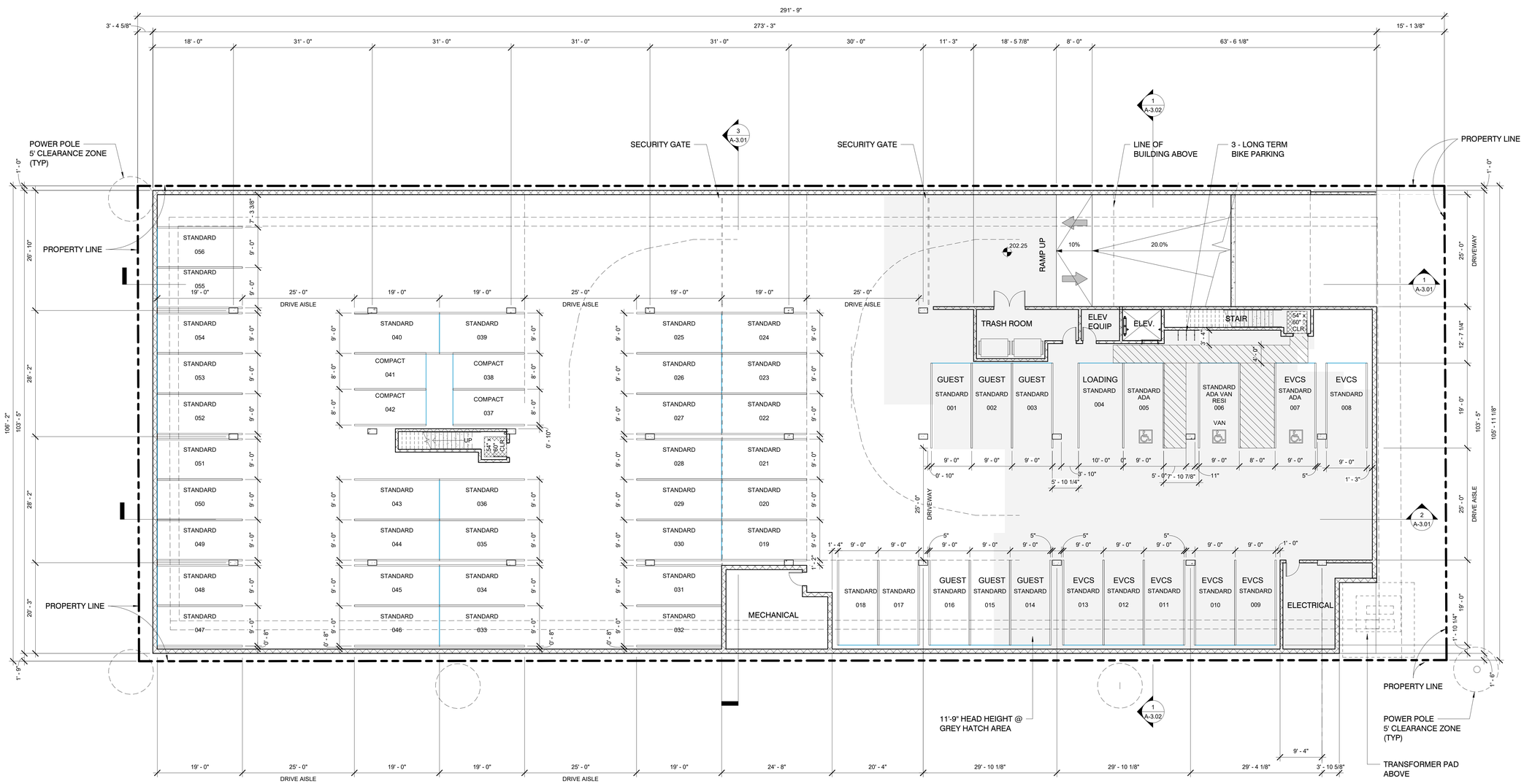
GUEST PARKING PROVIDED = 6 SPACES

ELECTRIC VEHICLE:
10% OF REQ'D RESIDENTIAL STALLS = 10% (56) = 5.6 (6 STALLS)

BICYCLE PARKING REQUIRED/PROVIDED
PER CGBSC 5.106.4.1 BICYCLE PARKING

LONG TERM — 56 X .05 = 2.8 = 3 REQUIRED BICYCLE PARKING SPACES (MIN 5% OF VEHICHLE PARKING)

SHORT TERM — 0 X .05 = 0 (MIN (1) 2-BIKE RACK REQUIRED PER CODE)



BASEMENT LEVEL — SCALE: 1" = 10'-0" (1)

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MINOR SITE PLAN REVIEW
MARCH 16, 2022

BASEMENT LEVEL

LICENSED ARCHITECT
NASA L. BLOCK
C-32273
09/30/2021
DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 10/06/18
Scale: As indicated
By: Author
Project No: 2008
Page No: A-2.01 OF

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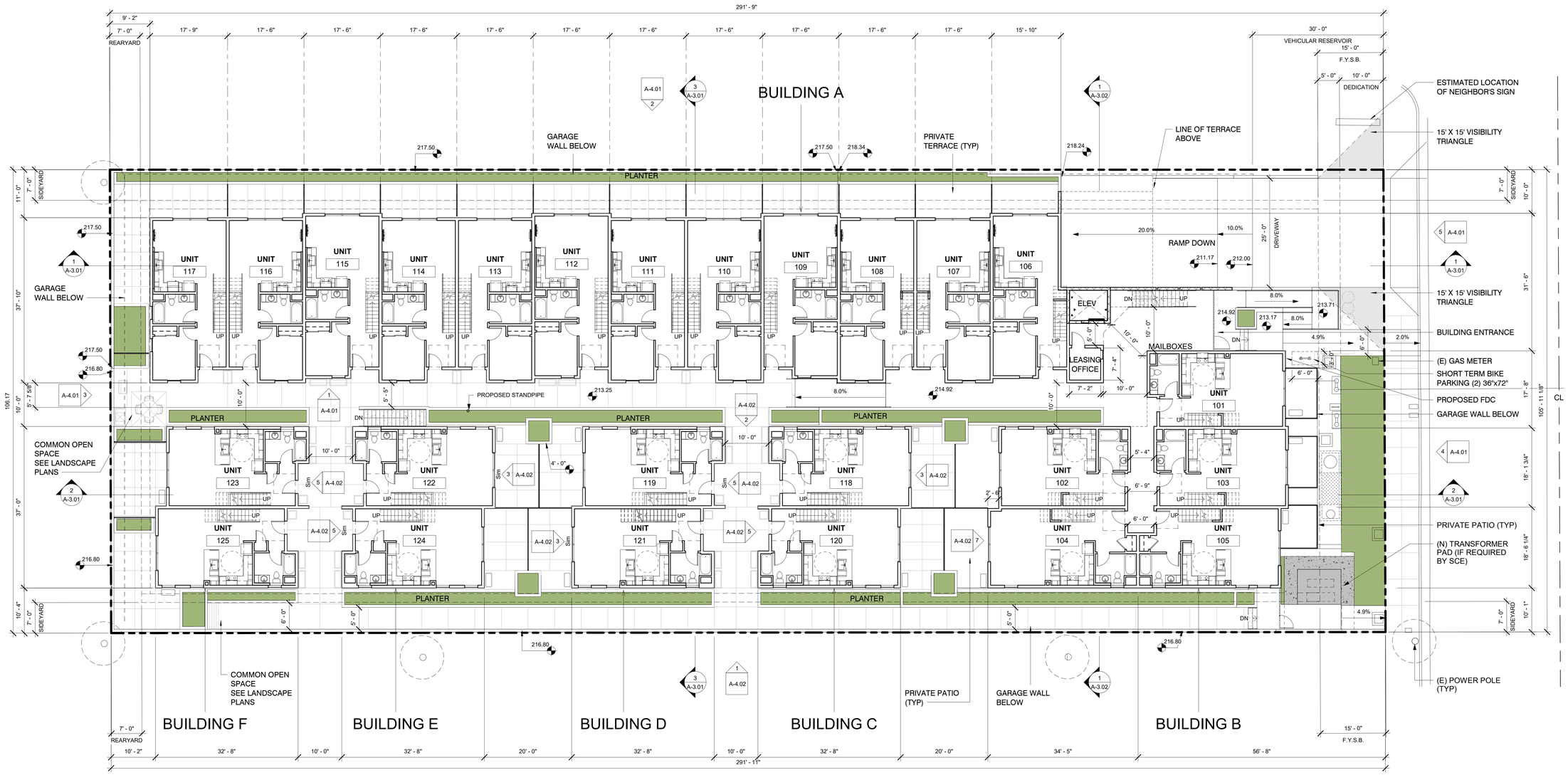

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MINOR SITE PLAN REVIEW
MARCH 16,2022

1ST FLOOR / GROUND LEVEL

LICENSED ARCHITECT
KASA L. BLOCKER
C-32273
09/30/20 21
EXPIRATION DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 10/06/18
Scale: 1" = 10'-0"
By: Author
Project No: 2008
Page No: A-2.02 OF

1ST FLOOR / GROUND LEVEL SCALE: 1" = 10'-0" 1

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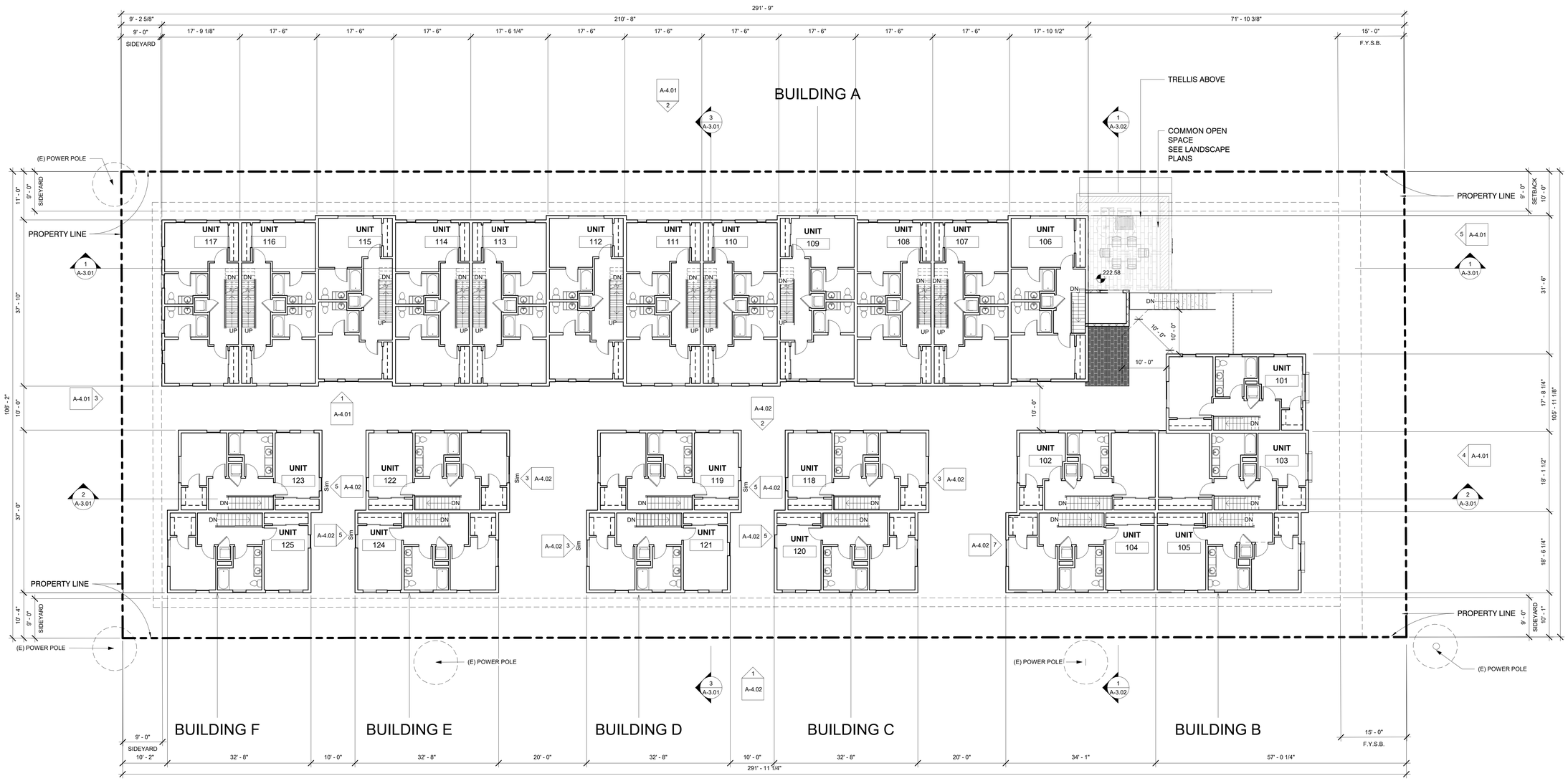

2ND FLOOR SCALE: 1" = 10'-0" 1

N

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MINOR SITE PLAN REVIEW
MARCH 16,2022

2ND FLOOR

LICENSED ARCHITECT
KARA L. BECK
C-32273
09/30/2021
EXPIRES DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 10/06/18
Scale: 1" = 10'-0"
By: Author
Project No: 2008
Page No: A-2.03 OF

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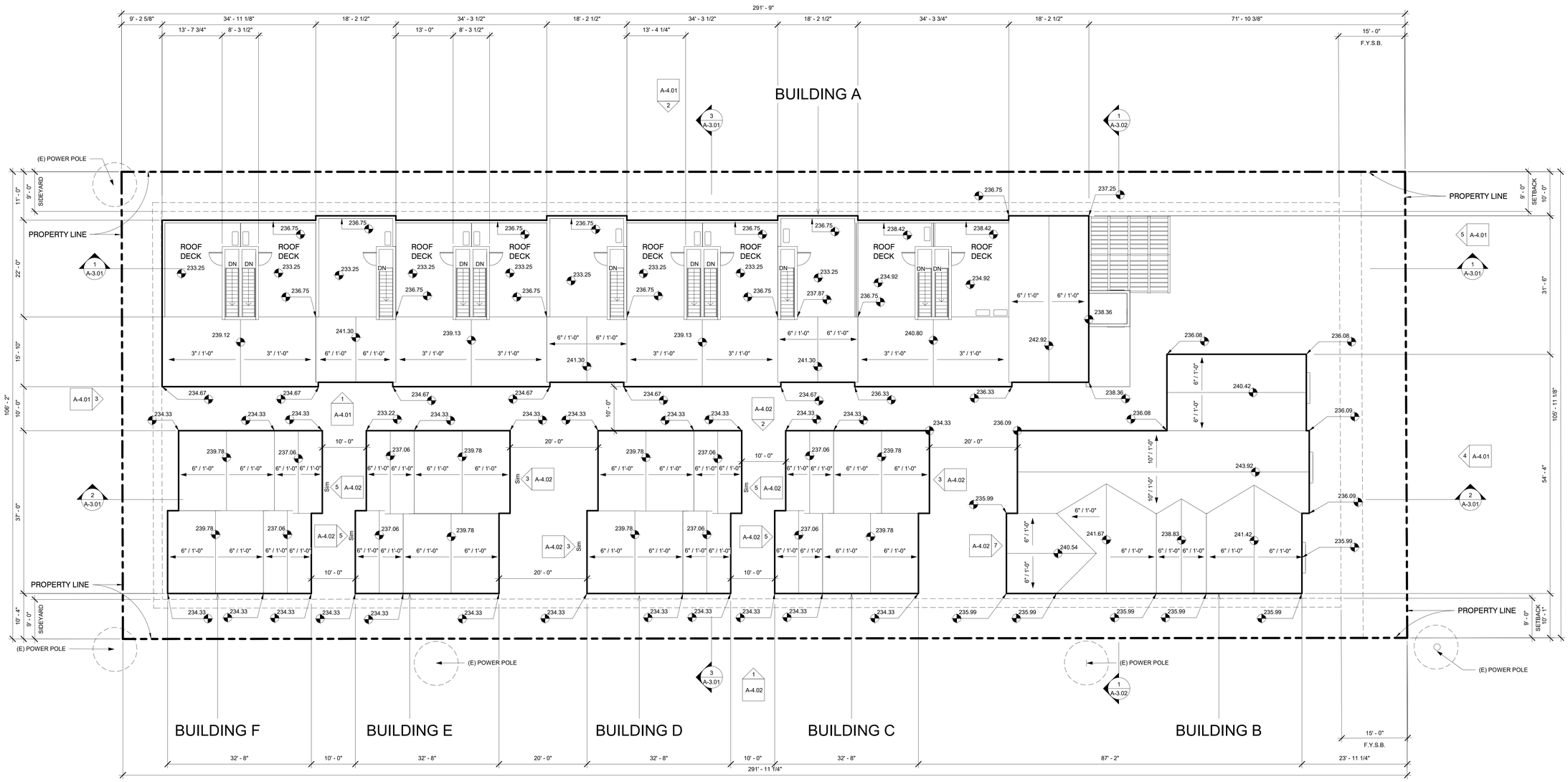

ROOF LEVEL SCALE: 1" = 10'-0" 1

N

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MINOR SITE PLAN REVIEW
MARCH 16,2022

ROOF LEVEL

LICENSED ARCHITECT KARA L. BLOCKY C-32273 09/30/2021 EXP. DATE STATE OF CALIFORNIA

-Preliminary review application

Date: 10/03/18
Scale: 1" = 10'-0"
By: Author
Project No: 2008
Page No: A-2.04 OF

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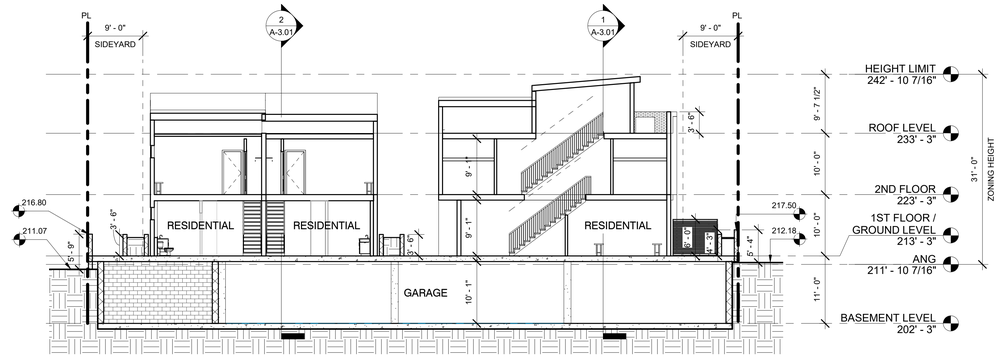
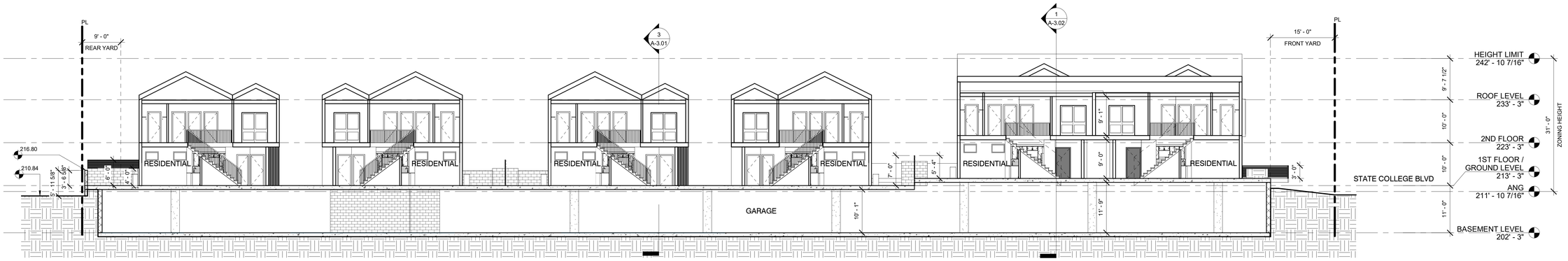
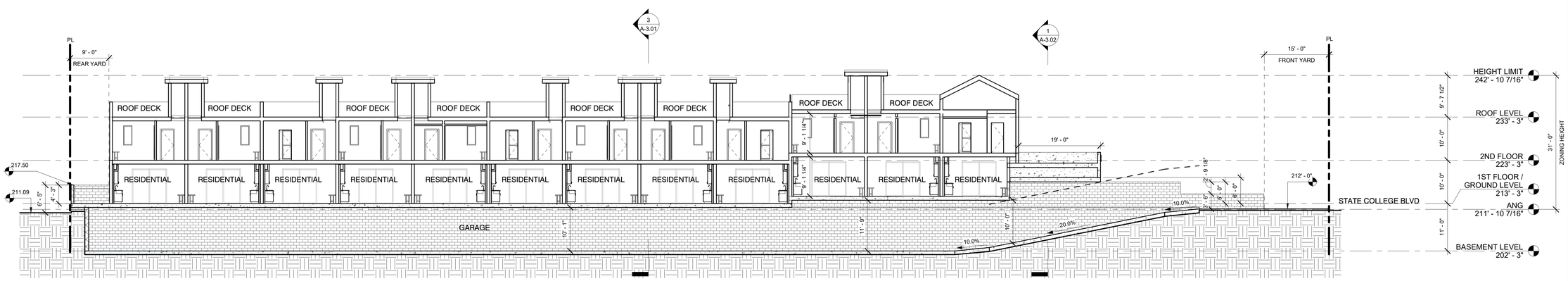


Section 3 SCALE: 1" = 10'-0" 3



Section 2 SCALE: 1" = 10'-0" 2



Section 1 SCALE: 1" = 10'-0" 1

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MINOR SITE PLAN REVIEW
MARCH 16,2022

BUILDING SECTIONS

LICENSED ARCHITECT
KASHA L. BLOCKER
C-32273
09/30/2021
DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 10/06/18
Scale: 1" = 10'-0"
By: Author
Project No: 2008
Page No: A-3.01 OF

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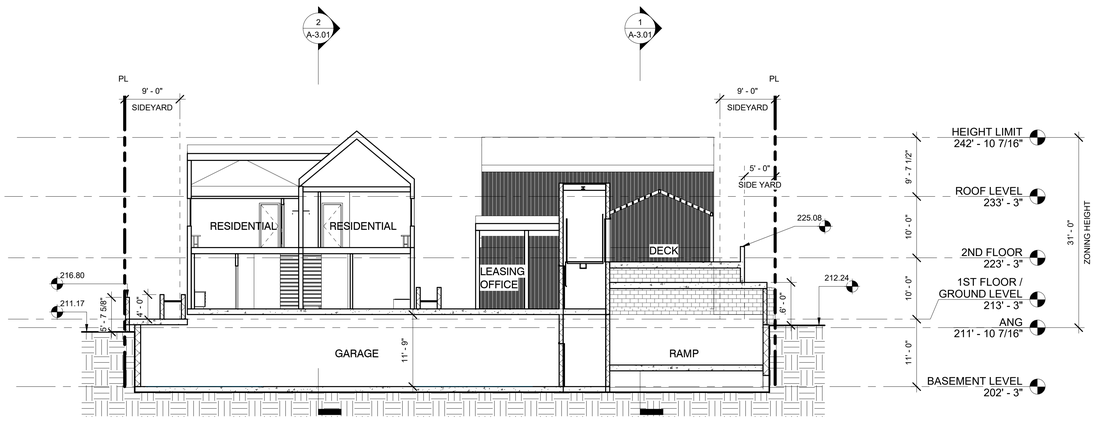

Section 4 | SCALE: 1" = 10'-0" | 1

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MINOR SITE PLAN REVIEW

MARCH 16,2022

BUILDING SECTIONS

LICENSED ARCHITECT
KAMI L. BLOOM
C-32273
09/30/20 21
REGISTRATION DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 08/06/21

Scale: 1" = 10'-0"

By: Author

Project No: 2008

Page No: A-3.02 OF

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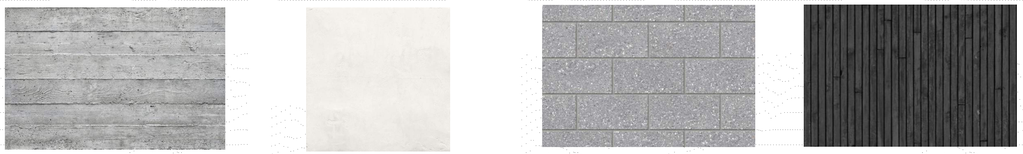
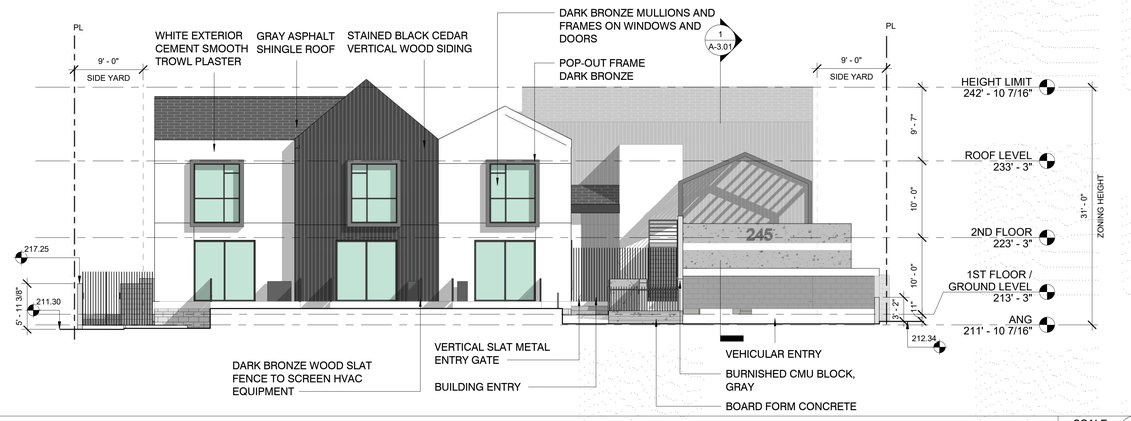
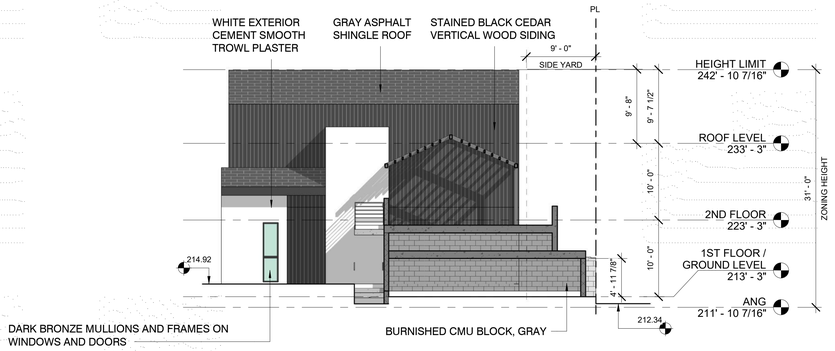


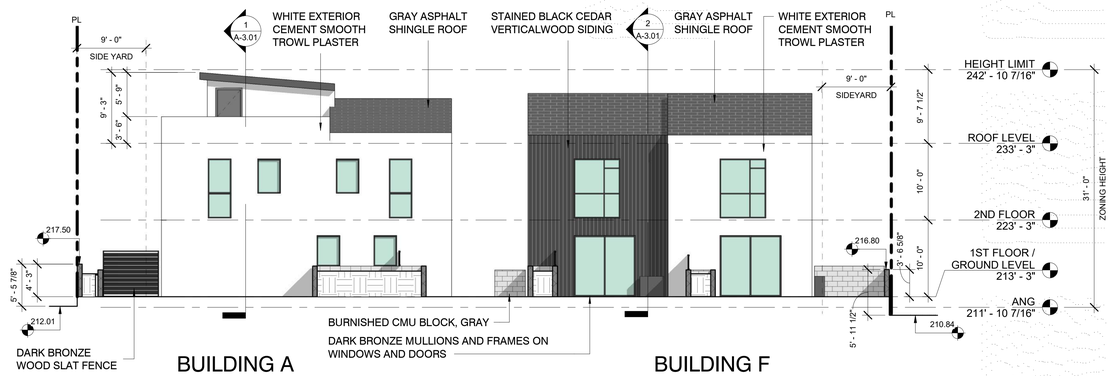
EXTERIOR MATERIAL SCALE: 12" = 1'-0"



EAST ELEVATION BLDG. B SCALE: 1/8" = 1'-0" 4

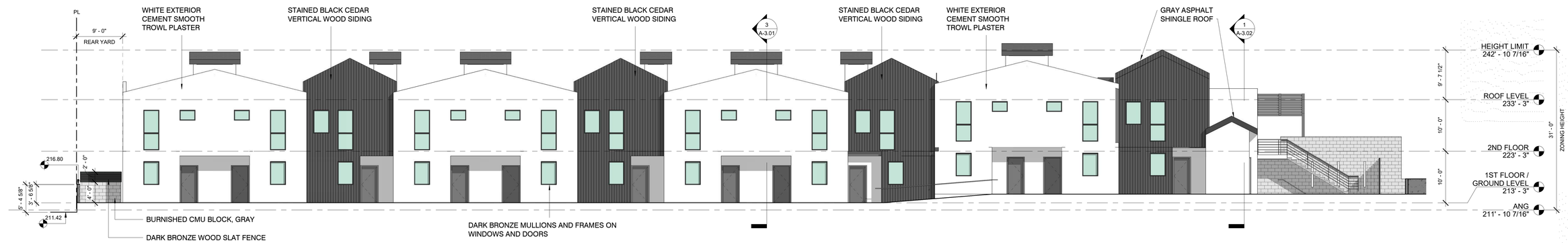


EAST ELEVATION BLDG. A SCALE: 1/8" = 1'-0" 5



WEST ELEVATION BLDG A SCALE: 1/8" = 1'-0" 3

NORTH ELEVATION BLDG. A SCALE: 1/8" = 1'-0" 2



SOUTH ELEVATION BLDG. A SCALE: 1/8" = 1'-0" 1

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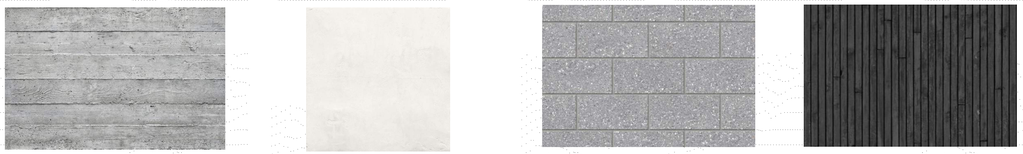
MINOR SITE PLAN REVIEW
MARCH 16,2022

EXTERIOR ELEVATION

LICENSED ARCHITECT
KASAN L. BLOCK
C-32273
09/30/2021
DATE
STATE OF CALIFORNIA

-Preliminary review application

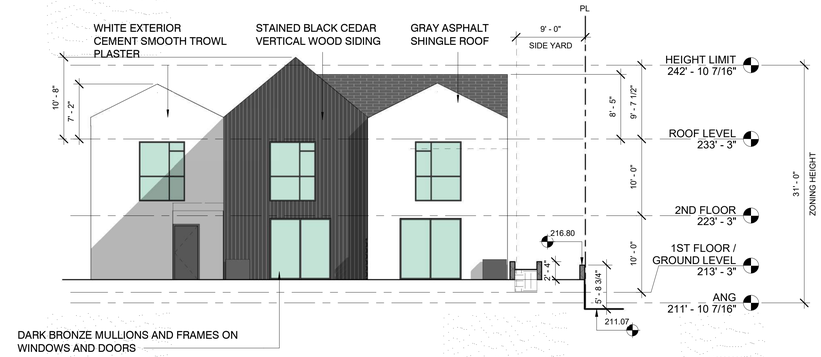
Date: 10/06/18
Scale: As indicated
By: Author
Project No: 2008
Page No: A-4.01 OF



BOARDFORM CONCRETE | WHITE SANTA BARBARA SMOOTH TROWEL FINISH PLASTER | BURNISHED FINISH CMU | STAINED BLACK CEDAR VERTICAL WOOD SIDING

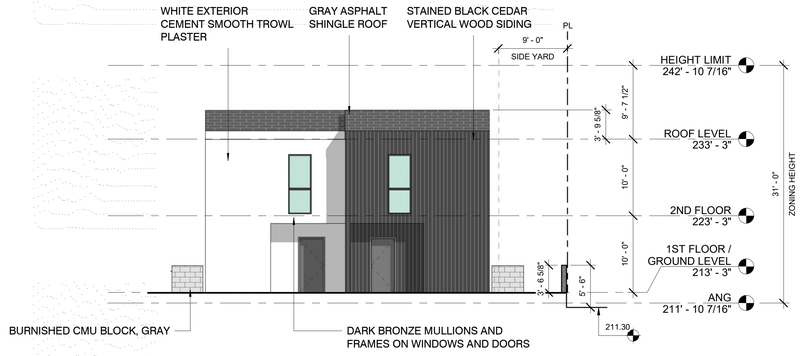
EXTERIOR MATERIAL

SCALE: 12" = 1'-0"



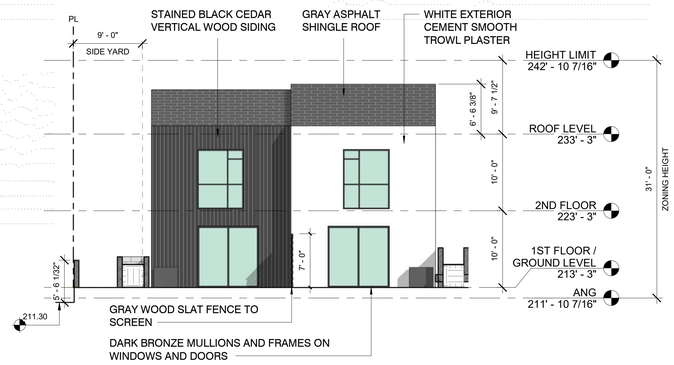
WEST ELEVATION BLDG. B

SCALE: 1/8" = 1'-0" 7



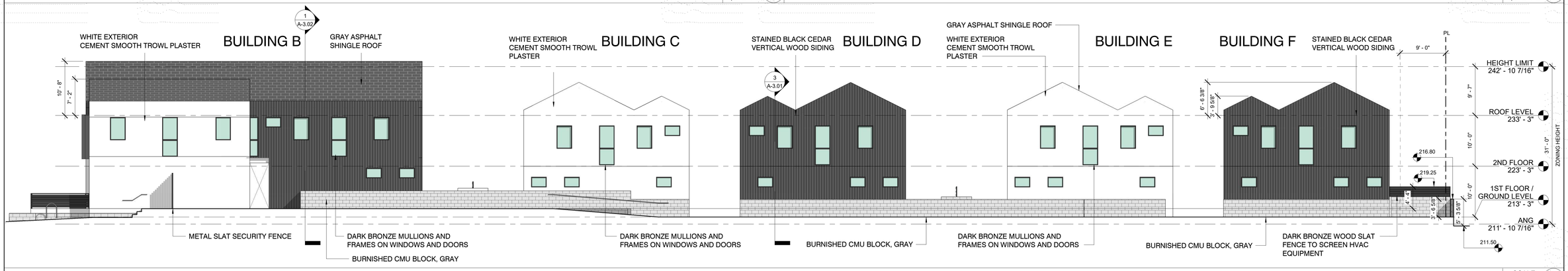
WEST ELEVATION BLDG. C ,D, E, F

SCALE: 1/8" = 1'-0" 5



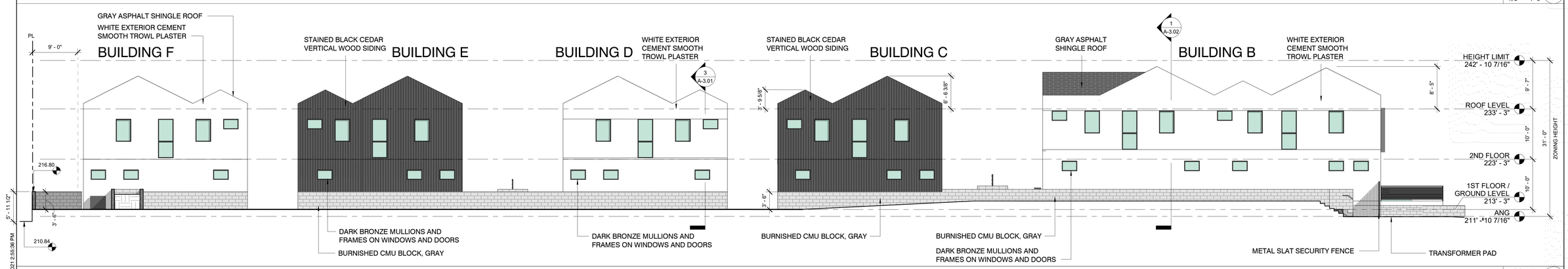
EAST ELEVATION BLDG. C ,D, E, F

SCALE: 1/8" = 1'-0" 3



NORTH ELEVATION BLDG. B-G

SCALE: 1/8" = 1'-0" 2



SOUTH ELEVATION BLDG B-G

SCALE: 1/8" = 1'-0" 1

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MINOR SITE PLAN REVIEW
MARCH 16,2022

EXTERIOR ELEVATION

LICENSED ARCHITECT
NASA L. BLOCKER
C-32273
09/30/2021
DATE
STATE OF CALIFORNIA

-Preliminary review application

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Page No: A-4.02 OF

WHITE SANTA BARBARA SMOOTH TROWEL FINISH PLASTER

BURNISHED FINISH CMU, GREYSTONE

DARK BRONZE

NATURAL STAIN @ TRELLIS, IPE WOOD

STAINED BLACK CEDAR VERTICAL WOOD SIDING

BOARDFORM CONCRETE

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MINOR SITE PLAN REVIEW
MARCH 16,2022

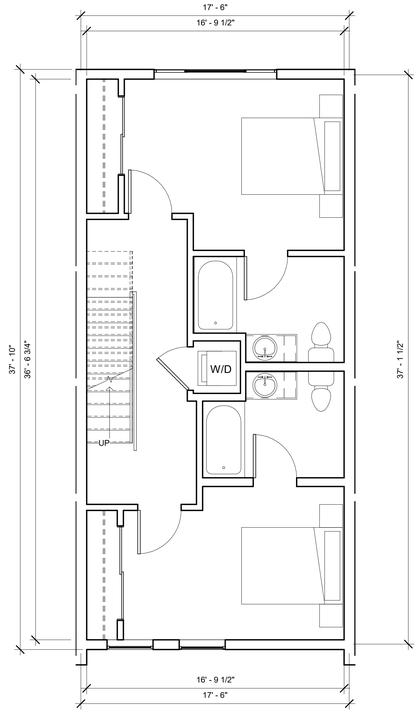
EXTERIOR MATERIAL

LICENSED ARCHITECT
KASA L. BLOCK
C-32273
09/30/2021
DATE
STATE OF CALIFORNIA

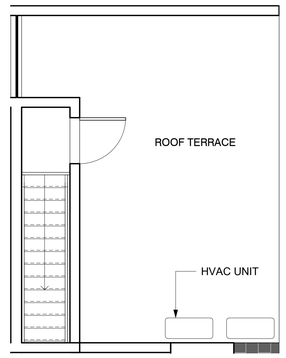
-Preliminary review application

Date: 10/04/21
Scale:
By: Author
Project No: 2008
Page No: A-4.03 OF

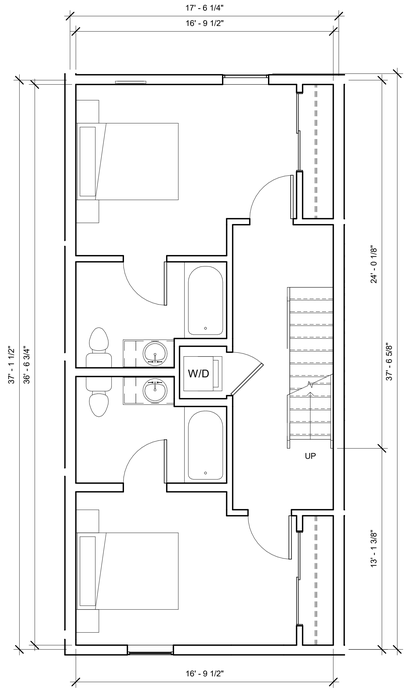
10/29/2021 2:55:37 PM



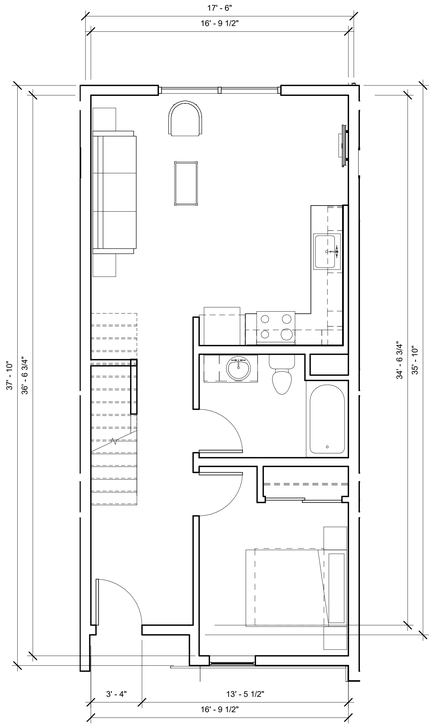
5 3DR - LEVEL 2 - STRAIGHT STAIRS
1/4" = 1'-0"



3 3BR - LEVEL3 - STACKED STAIRS
1/4" = 1'-0"



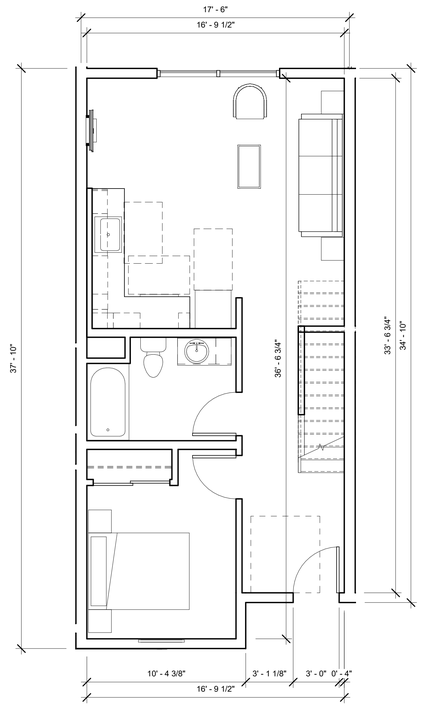
2 3BR - LEVEL2 - STACKED STAIRS
1/4" = 1'-0"



LEVEL 1

NETRENTABLE AREA:
649 SF + 626 SF = 1,275 SF

TYPICAL 3 BEDROOM SCALE: 1/4" = 1'-0" 4



LEVEL 1

NET AREA:
642 SF + 625 SF = 1,267 SF
+240 SF PRIVATE ROOF DECK

TYPICAL 3 BEDROOM WITH ROOF DECK SCALE: 1/4" = 1'-0" 1

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MINOR SITE PLAN REVIEW
MARCH 16,2022

TYPICAL UNIT PLANS

LICENSED ARCHITECT
MARK T. BLOCK
C-32273
09/30/20 21
REGISTRATION DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 01/06/21
Scale: 1/4" = 1'-0"
By: Author
Project No: 2008
Page No: A-5.01 OF

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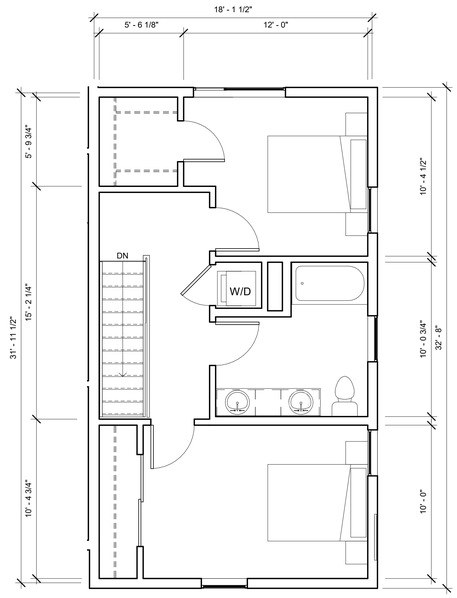
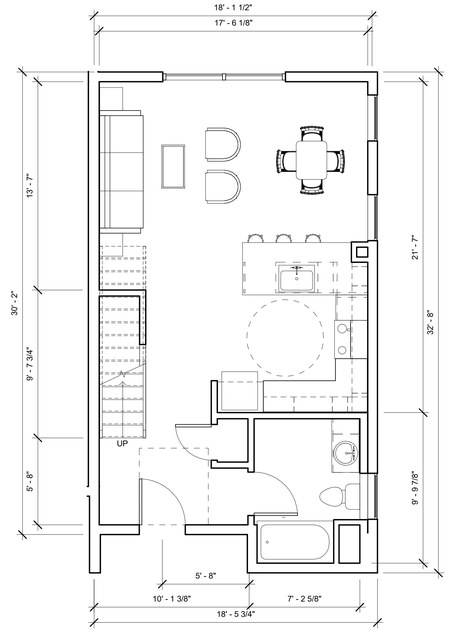


2 2 BEDROOM UNIT TYPE A - LEVEL2
1/4" = 1'-0"



LEVEL 1

NET AREA:
582 SF + 574 SF = 1,156 SF

TYPICAL 2 BEDROOM | SCALE: 1/4" = 1'-0" | 1

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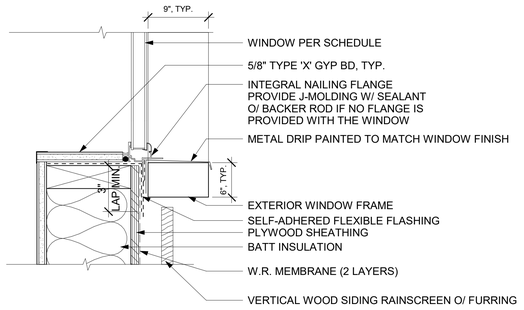
MINOR SITE PLAN REVIEW
MARCH 16,2022

TYPICAL UNIT PLANS

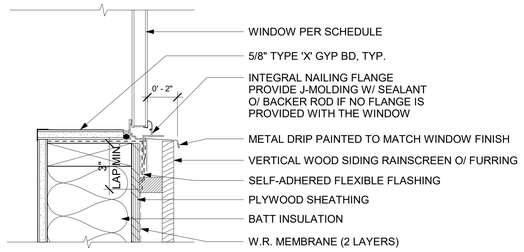
LICENSED ARCHITECT
MARC T. BLOCK
C-32273
09/30/20 21
REGISTRATION DATE
STATE OF CALIFORNIA

-Preliminary review application

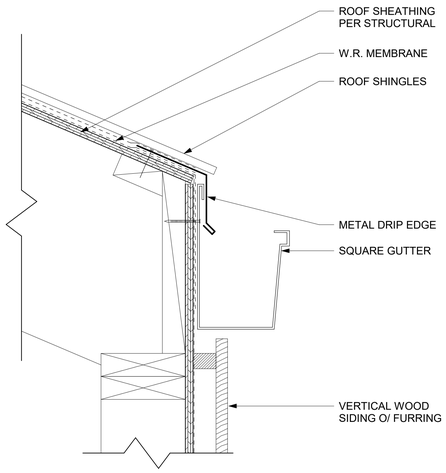
Date: 10/04/18
Scale: 1/4" = 1'-0"
By: Author
Project No: 2008
Page No: A-5.02 OF



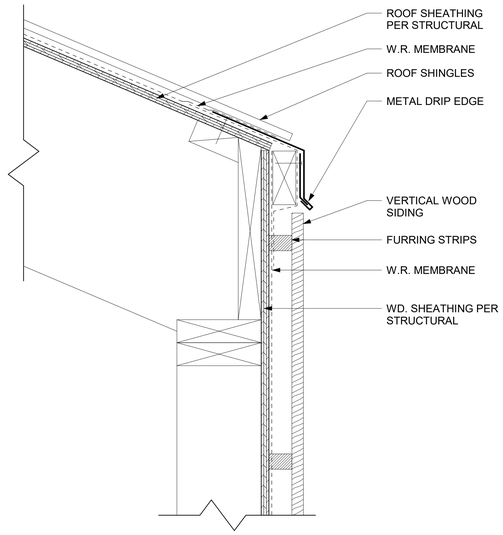
Window Sill @ Exterior Wall Frame (Section) SCALE: 3" = 1'-0" 4



Window Sill @ Rainscreen (Section) SCALE: 3" = 1'-0" 3



EAVE GUTTER DETAIL @ RAINSCREEN SCALE: 3" = 1'-0" 2



EAVE DETAIL @ RAINSCREEN SCALE: 3" = 1'-0" 1

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MINOR SITE PLAN REVIEW
MARCH 16,2022

ROOF DETAILS

LICENSED ARCHITECT
MARK T. BLOCK
C-32273
09/30/20 21
REGISTRATION DATE
STATE OF CALIFORNIA

-Preliminary review application

Date: 08/06/21
Scale: 3" = 1'-0"
By: Author
Project No: 2008
Page No: A-10.5 OF

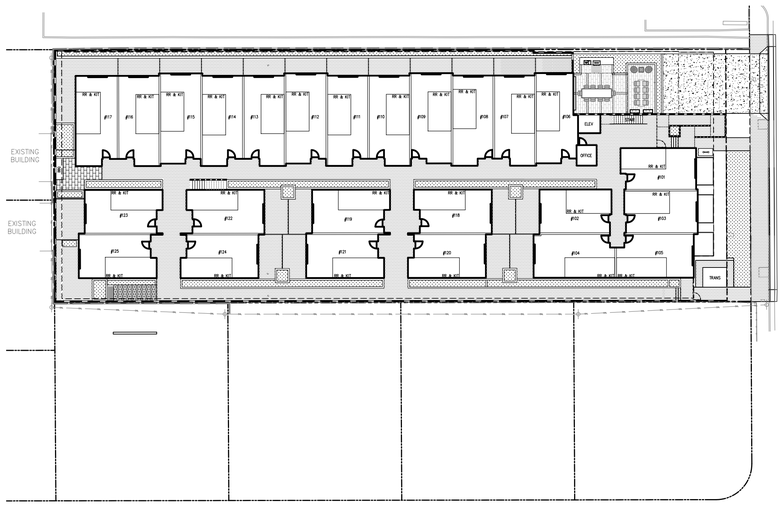
PRELIMINARY GRADING PLANS FOR
STATE COLLEGE TOWNHOMES
245 N. STATE COLLEGE BLVD., FULLERTON, CA 92831

GRADING GENERAL NOTES:

1. THE CODES IN EFFECT ARE: 2019 CALIFORNIA BUILDING CODE ('19 CBC), '2019CALIFORNIA PLUMBING CODE ('19 CPC),'2019 CALIFORNIA RESIDENTIAL CODE ('19 CRC), AND '2019 CALIFORNIA GREEN CODE ('CGC). SEE CITY OF FULLERTON ORDINANCE NO. 2947, (SECTIONS 14.03.90, 14.03.20, 14.03.21, 14.03.23).
2. PER CALIFORNIA LAW/CIVIL CODE SECTION 832:
   EACH COTERMINOUS OWNER IS ENTITLED TO THE LATERAL AND SUBJACENT SUPPORT WHICH HIS LAND RECEIVES FROM THE ADJOINING LAND, SUBJECT TO THE RIGHT OF THE OWNER OF THE ADJOINING LAND TO MAKE PROPER AND USUAL EXCAVATIONS ON THE SAME FOR PURPOSES OF CONSTRUCTION OR IMPROVEMENT, UNDER THE FOLLOWING CONDITIONS:
   a) ANY OWNER OF LAND OR HIS LESSEE INTENDING TO MAKE OR TO PERMIT AN EXCAVATION SHALL GIVE REASONABLE NOTICE TO THE OWNER OR OWNERS OF ADJOINING LANDS AND OF BUILDINGS OR OTHER STRUCTURES, STATING THE DEPTH TO WHICH SUCH EXCAVATION IS INTENDED TO BE MADE, AND WHEN THE EXCAVATING WILL BEGIN.
   b) IN MAKING ANY EXCAVATION, ORDINARY CARE AND SKILL SHALL BE USED, AND REASONABLE PRECAUTIONS TAKEN TO SUSTAIN THE ADJOINING LAND AS SUCH, WITHOUT REGARD TO ANY BUILDING OR OTHER STRUCTURE WHICH MAY BE THEREON, AND THERE SHALL BE NO LIABILITY FOR DAMAGE DONE TO ANY SUCH BUILDING OR OTHER STRUCTURE BY REASON OF THE EXCAVATION, EXCEPT AS OTHERWISE PROVIDED OR ALLOWED BY LAW.
   c) IF AT ANY TIME IT APPEARS THAT THE EXCAVATION IS TO BE OF A GREATER DEPTH THAN ARE THE WALLS OR FOUNDATIONS OF ANY ADJOINING BUILDING OR OTHER STRUCTURE, AND IS TO BE SO CLOSE AS TO ENDANGER THE BUILDING OR OTHER STRUCTURE IN ANY WAY, THEN THE OWNER OF THE BUILDING OR OTHER STRUCTURE MUST BE ALLOWED AT LEAST 30 DAYS, IF HE SO DESIRES, IN WHICH TO TAKE MEASURES TO PROTECT THE SAME FROM ANY DAMAGE, OR IN WHICH TO EXTEND THE FOUNDATIONS THEREOF, AND HE MUST BE GIVEN FOR THE SAME PURPOSES REASONABLE LICENSE TO ENTER ON THE LAND ON WHICH THE EXCAVATION IS TO BE OR IS BEING MADE.
   d) IF THE EXCAVATION IS INTENDED TO BE OR IS DEEPER THAN THE STANDARD DEPTH OF FOUNDATIONS, WHICH DEPTH IS DEFINED TO BE A DEPTH OF NINE FEET BELOW THE ADJACENT CURB LEVEL, AT THE POINT WHERE THE JOINT PROPERTY LINE INTERSECTS THE CURB AND IF ON THE LAND OF THE COTERMINOUS OWNER THERE IS ANY BUILDING OR OTHER STRUCTURE THE WALL OR FOUNDATION OF WHICH GOES TO STANDARD DEPTH OR DEEPER THEN THE OWNER OF THE LAND ON WHICH THE EXCAVATION IS BEING MADE SHALL, IF GIVEN THE NECESSARY LICENSE TO ENTER ON THE ADJOINING LAND, PROTECT THE SAID ADJOINING LAND AND ANY SUCH BUILDING OR OTHER STRUCTURE THEREON WITHOUT COST TO THE OWNER THEREOF, FROM ANY DAMAGE BY REASON OF THE EXCAVATION, AND SHALL BE LIABLE TO THE OWNER OF SUCH PROPERTY FOR ANY SUCH DAMAGE, EXCEPTING ONLY FOR MINOR SETTLEMENT CRACKS IN BUILDINGS OR OTHER STRUCTURES.
3. THE SUPERVISING ENGINEER SHALL PROVIDE A MINIMUM OF ONE BLUE TOP SET AT THE HIGHEST POINT IN THE FINISH DRAINING SWALE. THESE ELEVATIONS SHALL BE NOTED ON THE BUILDING PLANS.
4. ALL FINAL SHEETS OF PLANS SUBMITTED INCLUDING SUBSEQUENTLY CORRECTED AND REVISED PLANS NEED THE WET OR ELECTRONIC STAMP, DATE AND WET SIGNATURE OF STATE OF CALIFORNIA LICENSED CIVIL ENGINEER WHO IS RESPONSIBLE FOR THE PREPARATION OF THE PLANS, CALCULATIONS AND/OR ANY DOCUMENTATION. COPIED OR REPRODUCED STAMP AND SIGNATURE IS NOT ACCEPTABLE. INDICATE EXPIRATION DATE OF LICENSE ALSO. NO ADDITIONAL RED/BLUE MARKS, NOTES OR DRAWINGS WRITTEN ON THE PLAN UNLESS ACKNOWLEDGED BY A RESPONSIBLE ENGINEER WITH HIS "WET" PRINTED SIGNATURE AND DATED WHERE ALL MARKS ARE ADDED AND CLOUDED.
5. CIVIL ENGINEER/HIS REPRESENTATIVE (SURVEYOR) WILL BE ON JOB SITE TO CONFIRM GRADING OPERATION TO BE ACCOMPLISHED IN ACCORDANCE WITH APPROVED GRADING PLANS. OR THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, LINES, GRADES AND ELEVATIONS FOR SURVEY CONTROLS, SPECIFICATIONS AND THE CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THE PURVIEW OF THE CIVIL ENGINEER. THE CIVIL ENGINEER OR LICENSED SURVEYOR SHALL SET NECESSARY SURVEY STAKES TO VERIFY LINES, AND GRADES AS SHOWN ON PLANS.
6. SCHEDULE PRE-GRADE MEETING ON SITE TO INCLUDE GRADING INSPECTOR OF THE CITY OF FULLERTON, PLUS GRADING CIVIL ENGINEER, GEOTECHNICAL/SOILS ENGINEER AND CONTRACTOR, AND OWNER.
   FINAL GRADING PLANS TO BE REVIEWED BY GEOTECHNICAL/SOILS ENGINEER WITH A SIGNED AND WRITTEN STATEMENT ON THE PLANS, THAT "THESE GRADING PLANS WERE REVIEWED AND APPROVED, AND THAT THEY COMPLY WITH ALL THE REQUIREMENTS AND RECOMMENDATIONS OF THE GEOTECHNICAL/SOILS REPORT
7. PROVIDE HYDROLOGY REPORT FOR (10, 25 & 100-YEAR STORM) AND HYDRAULIC CALCULATIONS FOR THE SIZING OF DRAINPIPES GOING TO PUBLIC DRAIN. PROVIDE HYDROLOGY MAP SHOWING DRAINAGE SUB AREA NUMBER IDENTIFICATION, AREA IN ACRES AND LENGTH. ALSO, PROVIDE DRAINAGE SCHEMATIC DIAGRAM WITH CALCULATIONS SHOWING ALL LATERAL (BRANCH) LINES. SHOW PIPE SIZES, TYPES OF MATERIALS
8. PROVIDE PROTECTION TO PEDESTRIANS AND PUBLIC DURING CONSTRUCTION OR DEMOLITION PER CHAPTER 33, APPENDIX J, BY BARRICADES, RAILINGS, FENCES AND/OR CANOPIES OR AS NECESSARY FOR PEDESTRIAN (CUSTOMERS, EMPLOYEES, ETC.) SAFETY. SHOW A MINIMUM 6'-0" HIGH FENCE A MINIMUM DISTANCE OF MORE THAN ONE-HALF THE HEIGHT OF CONSTRUCTION AWAY FROM THE CONSTRUCTION OR USE ANY OTHER APPROVED PROTECTION MEANS AND DEVICES.
9. OBTAIN PERMIT FROM CAL/OSHA FOR EXCAVATIONS OVER 5'-0 DEEP.
10. PROVIDE SHORING TO PROTECT ANY ADJACENT EXISTING STRUCTURES AFFECTED BY ANY EXCAVATION. PROVIDE SHORING DETAIL AND CALCULATIONS.
11. SHOW IN THE PLAN THE FOLLOWING EARTHWORK VOLUMES:
    a. CUT ____ C.Y., FILL ____ C.Y., IMPORT ____ C.Y., EXPORT ____ C.Y, OVER EXCAVATION ____C.Y.
12. A PERFORMANCE BOND IS REQUIRED IN THE AMOUNT OF $2.20 X___ C.Y. = _____; (FOR SLOPED/HILLSIDE) $2.75 X _____ C.Y. = _____. BOND MUST BE WITH SIGNED 'AGREEMENT FOR GRADING, SLOPE PLANTING AND EROSION CONTROL" FORM. (NOTE: BOND IS BASED ON ANY ONE OF THE LARGEST QUANTITIES OF CUT, FILL, IMPORT, EXPORT, EXCAVATION AND PLUS OVER-EXCAVATION.(NOTE: NO PERFORMANCE BOND IS REQUIRED IF NO GRADING PERMIT IS REQUIRED.)
13. A LIABILITY BOND IS REQUIRED IN THE AMOUNT OF $500,000. IN LIEU OF A LIABILITY BOND, EVIDENCE OF LIABILITY INSURANCE IN THAT AMOUNT MAY BE SUBMITTED SHOWING THE CITY OF FULLERTON AS INSURED.
14. PROVIDE AT LEAST FOUR CROSS-SECTIONS OF LOT AT ALL FOUR SIDE-YARDS THAT EXTEND AT LEAST 5 FT. BEYOND PROPERTY LINE AND EXTENDS TO BUILDING PADS. IF NO BUILDING PADS YET, IT MUST EXTEND THROUGH THE WHOLE LOT WIDTH OR LENGTH. DOTTED LINES FOR EXISTING AND SOLID LINES FOR NEW/FINISH CONTOUR LINES.
15. UNDER "SOILS REPORT " : "NAME AND ADDRESS OF SOIL ENGINEER IN THE GRADING PLAN - NAME OF SOIL COMPANY: _____, PROJECT/JOB NO. _____, AND DATE SOIL'S REPORT WAS PROPOSED _____." (FILL IN ACCORDINGLY)
16. ALL EXISTING FILLS SHALL BE APPROVED BY THE GRADING INSPECTOR OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
17. IF THE BUILDING EXTERIOR WALLS ARE OF WOODEN MATERIALS, PROVIDE A MINIMUM OF 8" CLEARANCE FROM THE TOP OF THE FOUNDATION TO THE FINISH GRADE. SHOW ON THE GRADING PLANS A MINIMUM OF 8" SEPARATION FROM THE TOP OF FOOTING (TF) TO FINISHED GRADE (FG) ADJACENT TO THE BUILDING. [CBC 2304.12.1.2, CRC8317.1 ITEM 2]
    EXCEPTION: AT EXTERIOR WALLS WHERE THE EARTH IS PAVED WITH AN ASPHALT OR CONCRETE SLAB AT LEAST 18 INCHES WIDE AND DRAINING AWAY FROM THE BUILDING, THE BOTTOM OF SILLS ARE PERMITTED TO BE 6 INCHES ABOVE THE TOP OF SUCH SLAB.
18. DUST SHALL BE CONTROLLED BY WATERING.
19. APPROVED EROSION AND SEDIMENTATION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
20. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATIONS PER CITY OF FULLERTON REGULATION ON CONSTRUCTION SANITATION FACILITY.
21. ALL TRENCH BACKFILLS IN PUBLIC PROPERTY WHERE PRIVATE PROPERTY STRUCTURES OR SLOPES BEAR ON THEM FOR SUPPORT SHALL BE CERTIFIED BY THE SITE SOIL TESTING FIRM. THE SOIL CERTIFICATION SHALL INCLUDE THE STABILITY OF THE BACKFILL AND THAT THE COMPACTION IS 90% OF THE MAXIMUM DRY DENSITY USING THE AASHO TEST T180-57 MODIFIED TO USE 3 LAYERS IN LIEU OF 5 LAYERS.
22. EARTHQUAKE-INDUCED LANDSLIDES. IF THIS SITE IS LOCATED ON SEISMIC HAZARD ZONE MAP AS PUBLISHED IN 1997 BY THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION, DIVISION OF MINES AND GEOLOGY, IN COMPLIANCE WITH STATE OF CALIFORNIA, CHAPTER 7.8 SEISMIC HAZARDS MAPPING. PROVIDE EVALUATION AND MITIGATION FOR POSSIBLE EARTHQUAKE-INDUCED LANDSLIDES. THE AREA WHERE PREVIOUS OCCURRENCE OF LANDSLIDE MOVEMENT, OR LOCAL TOPOGRAPHIC, GEOLOGICAL, GEOTECHNICAL AND SUB-SURFACE WATER CONDITIONS INDICATE A POTENTIAL FOR PERMANENT GROUND DISPLACEMENTS SUCH THAT MITIGATION AS DEFINED IN PUBLIC RESOURCES CODE SECTION2693(C) WOULD BE REQUIRED. IN ADDITION, A SEISMIC SLOPE STABILITY ANALYSIS IS REQUIRED.
23. THE SOILS ENGINEER AND/OR ENGINEERING GEOLOGIST SHALL MAINTAIN PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
24. THE DESIGN ENGINEER SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING AND CONSTRUCTION TO ENSURE COMPLIANCE WITH THE APPROVED PLANS.
25. ALL DIRT, SAND, MUD, OR DEBRIS DEPOSITED OR SPILLED UPON PUBLIC STREETS DURING ANY GRADING, HAULING, OR EXPORT OPERATIONS SHALL BE IMMEDIATELY CLEANED UP BY THE DEVELOPER, HIS CONTRACTOR, SUBCONTRACTORS, OR AGENTS TO THE SATISFACTION OF THE CITY ENGINEER. FAILURE TO DO SO WILL BE CAUSE FOR STOPPING OF ALL SUCH GRADING, HAULING, OR EXPORT WORK BY THE CITY UNTIL SUCH TIME AS THE STREETS ARE CLEANED.
26. ALL LOTS SHALL DRAIN TO STREETS, ALLEYS OR APPROVED DRAINAGE WAYS 0.5% MINIMUM FOR ASPHALT, 0.25% FOR CONCRETE (PCC), 1% MINIMUM FOR DIRT.

GRADING GENERAL NOTES (CONTINUED):

27. THE FOLLOWING NEEDS SEPARATE PLAN REVIEW AND PAY PLAN REVIEW FEES. SUBMIT TWO/THREE SETS OF PLANS "WET" STAMPED AND SIGNED BY LICENSED PROFESSIONAL ENGINEER. INDICATE EXPIRATION DATE OF LICENSE ALSO.
    a. SEWER LINE SYSTEM (IF OCCURS)
    b. PLUMBING
    c. STORM DRAIN SUMP PUMP
    d. WATER LINE SYSTEM. (IF OCCURS)
    e. UTILITY LINE SYSTEM (EXCEPT STORM DRAINS)
    f. FOUNDATION FOR LIGHT STANDARD, FLAGPOLE AND FREE-STANDING SIGNS. PROVIDE STRUCTURAL CALCULATIONS AND DRAWINGS FOR FOUNDATION. (NOTE THAT STRUCTURAL CALCULATIONS FOR LIGHT COLUMNS OR POSTS SUBMITTED SEPARATELY OR LATER MUST BE APPROVED BY THE ENGINEER WHO DID THE CALCULATIONS FOR THE FOUNDATION.) PROVIDE DETAIL OF BASE PLATE (SIZE AND THICKNESS). ALSO SHOW ANCHOR BOLT SIZE, LENGTH OF EMBEDMENT AND HOW MANY BOLTS. THIS DETAIL MUST BE IN ACCORD WITH THE LIGHT STANDARD POLE BASE BY MANUFACTURER/PRODUCT/ENGINEER.
    g. DEMOLITION OR ABANDONMENT PERMIT FOR ANY EXISTING STRUCTURES, ALL OTHER APPURTENANT DEVICES, EQUIPMENT, ETC.
    h. RETAINING WALLS THAT ARE OVER 4 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, OR SUPPORTING A SURCHARGE OR IMPOUNDING CLASS I, II, OR IIIA LIQUIDS.
    i. PROVIDE STRUCTURAL CALCULATIONS FOR ALL TYPES AND KINDS OF RETAINING WALLS IF PART OF GRADING PROJECT. NOTE THAT RETAINING WALLS ARE IN SEPARATE BUILDING PERMIT.
    j. REINFORCED CONCRETE OR MASONRY FENCES (WALLS), OVER 3'0" HIGH. SECTION 106.2.2.
    k. BLOCK/CONCRETE PILASTERS, MORE THAN 3'-0 HIGH.
    l. MORE THAN 6'-0 HIGH FENCE (WOOD OR CHAIN LINK). (NOTE: NOT MORE THAN 6'0" HIGH FENCE AND STUCCOED BOTH SIDES DOES NOT NEED PERMIT.)
    m. TRASH ENCLOSURE. (NOTE: CITY STANDARD DRAWINGS MAY BE USED.)
28. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED NOT LESS THAN 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING [1804.4]
29. EXCEPTION: IMPERVIOUS SURFACES SHALL BE PERMITTED TO BE SLOPED LESS THAN 2 PERCENT WHERE THE SURFACE IS A DOOR LANDING OR RAMP THAT IS REQUIRED TO COMPLY WITH SECTION 1010.1.5, 1012.3 OR 1012.6.1.
30. COMPLY WITH NOTIFICATION OF ADJOINING PROPERTY BY GIVING A 10-DAY WRITTEN NOTICE TO THE ADJACENT PROPERTY OWNERS OF INTENT TO EXCAVATE WHERE EXCAVATION IS DEEPER THAN THE FOUNDATION OF ADJOINING BUILDING OR LOCATED CLOSER TO PROPERTY LINE THAN THE DEPTH OF EXCAVATION. [CBC 3307.1]
31. SUBMISSION OF PROFESSIONAL OPINION THAT THE SUBSOILS HAVE SUFFICIENT STABILITY TO HOLD THE ADDITIONAL WEIGHT OF THE PROPOSED FILLS WITHOUT SETTLEMENT THAT WILL CAUSE DAMAGE TO PROPOSED IMPROVEMENTS MUST BE SUBMITTED TO THE DIRECTOR OF DEVELOPMENT SERVICES PRIOR TO PLACEMENT OF FILL.
32. DRAINAGE PIPE THAT WILL UNDERLAY STRUCTURES MUST BE REINFORCED CONCRETE OR CAST IRON AND THE STRUCTURE FOUNDATIONS MUST BE ENGINEERED BY A FOUNDATION ENGINEER. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR DEPUTY INSPECTION DURING CONSTRUCTION OF THE PIPE AND WILL CERTIFY TO THE STABILITY AND THAT THE WORK WAS DONE TO HIS SATISFACTION.
33. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
34. NO EXPORTING OF EXCESS CUT OR DIRT WILL BE ALLOWED WITHOUT THE DEVELOPER, OR APPROPRIATE CONTRACTOR FIRST OBTAINING A PERMIT TO DO SO FROM THE DIRECTOR OF ENGINEERING. SUCH A PERMIT SHALL PRESCRIBE APPROVED ROUTES, HOURS OF OPERATION, TRAFFIC CONTROL REQUIREMENTS, STREET PROTECTION DEPOSITS, ETC.
35. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER WILL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE DIRECTOR OF DEVELOPMENT SERVICES PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEERING WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
36. APPROVAL BY THE CITY BUILDING INSPECTOR DOES NOT PRECLUDE OBSERVATION BY THE GEOTECHNICAL ENGINEER AND ACCEPTANCE OF REVIEW BY THE GEOTECHNICAL ENGINEER DOES NOT PRECLUDE THE INSPECTION PROCESS BY THE CITY BUILDING INSPECTOR AND ANY OTHER CODE REQUIREMENTS FOR INSPECTION.
37. PROVIDE A COPY OF DRAINAGE EASEMENTS OR AGREEMENTS ARE REQUIRED WHERE STORM WATER (ROOF AND SURFACE WATER) CROSSES ADJACENT PROPERTY TO REACH A PUBLIC FACILITY. THE EASEMENT DOCUMENT MUST BE NOTARIZED AND RECORDED WITH ORANGE COUNTY RECORDER'S OFFICE, AND/OR PROVIDE UPDATED C.C.& R. REGARDING MAINTENANCE OF COMMON DRAINAGE AREAS, DRAINAGE DEVICES AND EASEMENTS. PROVIDE COPY OF RECORDED EASEMENT DOCUMENTS, SUCH AS TENTATIVE TRACT OR PARCEL MAP SHOWING ALL REQUIRED EASEMENTS OR COPY OF C.C. & R DOCUMENTS.
38. SITES OVER 1 ACRE IN SIZE ARE REQUIRED TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SUBJECT TO THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) APPROVAL. PLEASE SUBMIT A COPY TO BE USED FOR REFERENCE.
39. PROVIDE "NOI" NOTICE OF INTENT I.D. NUMBER. "THIS WILL BE ISSUED BY REGIONAL WATER QUALITY CONTROL BOARD." THE NOTICE OF INTENT (NOI) SHOULD BE MAILED TO THE STATE RESOURCES CONTROL BOARD AT THE FOLLOWING ADDRESS:
    40. STATE WATER RESOURCES CONTROL BOARD DIVISION OF WATER QUALITY
    41. DIVISION OF WATER QUALITY
    42. ATTN: STORM WATER PERMIT UNIT
    A.A. BOX 1977
    A.B. SACRAMENTO, CA 95812-1977
    43. EROSION & SEDIMENT CONTROL PLAN TO INCLUDE BMP DETAILS PER CASQA FACTSHEETS, STABILIZED CONSTRUCTION ENTRANCE/ EXIT FOR (CASQA TC-1), PERIMETER CONTROL BMPS, MATERIAL STORAGE DETAIL FOR STOCKPILES (CASQA WM-3), AND WASTE MANAGEMENT BMP (CASQA WE-6), ETC. WWW.OCWATERSHEDS.COM
    44. OBSERVATION, INSPECTION AND/OR TESTING AND REPORT SUBMITTAL SHOULD BE PERFORMED BY THE GEOTECHNICAL CONSULTANT OR HIS REPRESENTATIVE AT EACH OF THE FOLLOWING STAGES AND TO COMPLY WITH ALL THE REQUIREMENTS AND RECOMMENDATION OF THE SOILS REPORT. APPENDIX J.
    n. SITE PREPARATION, CLEARING, GRUBBING AND REMOVAL FROM THE SITE VEGETATION, TRASH, DEBRIS AND ANY DELETERIOUS MATERIALS WITHIN THE CONSTRUCTION SITE.
    o. EXPOSED SUB-GRADE GROUND SURFACE AFTER OVER EXCAVATION FOR SUITABILITY OR FURTHER PREPARATION TO RECEIVE AND TO SERVE AS STRUCTURAL FILL SUB-GRADE.
    p. AT THE COMPLETION OF ROUGH GRADING TO CONDUCT ADDITIONAL SAMPLING, LABORATORY TESTING AND ANALYSIS FOR FINAL SOIL PRECISE GRADING OR FOUNDATION DESIGN RECOMMENDATIONS.
    q. APPROVAL OF ANY IMPORTED FILL MATERIAL USED PRIOR TO IMPORTATION TO SITE.
    r. REMOVAL OF ALL UNSUITABLE MATERIALS AND SOILS.
    s. AFTER PRESOAKING BUILDING PAD AND OTHER FLATWORK SUBGRADE AND PRIOR TO POURING SLABS.
    t. TEMPORARY EXCAVATION.
    u. DURING PRECISE GRADING/RECERTIFICATION.
    v. OVEREXCAVATION AND PROCESSING (I.E. SCARIFYING, MOISTURE CONDITIONING, BACKFILL AND RECOMPACTING) OF ALL WEATHERED AND DISTURBED NEAR SURFACE FILL OR NON-FILL SOIL MATERIAL.
    w. EXPOSED SURFACE OF COMPLETED OVEREXCAVATION.
    x. AFTER EXCAVATION FOR FOOTINGS OF BUILDINGS, RETAINING WALLS, AND FREESTANDING WALLS, AND PRIOR TO POURING CONCRETE.
    y. DURING COMPACTION OF ALL FILLS, AFTER OVER-EXCAVATION.
    z. SURFACE AND SUBSURFACE DRAINAGE INSTALLATION.
    aa. FOUNDATION EXCAVATIONS.

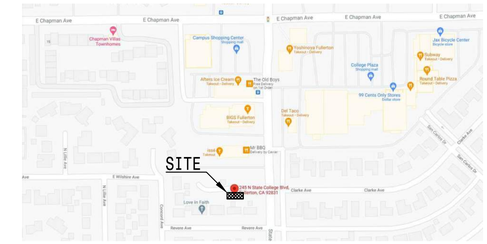


GRADING GENERAL NOTES (CONTINUED):

45. GEOTECHNICAL OBSERVATION, AND INSPECTION/TESTING MUST COMPLY WITH ALL THE REQUIREMENTS AND RECOMMENDATION OF THE SOIL'S ENGINEER. SEE APPENDIX J
    ab. THE OWNER SHALL EMPLOY THE GEOTECHNICAL ENGINEER OR HIS APPROVED REPRESENTATIVE RESPONSIBLE FOR THE DESIGN, OR ANOTHER GEOTECHNICAL ENGINEER DESIGNATED BY THE GEOTECHNICAL ENGINEER OF RECORD TO PERFORM GEOTECHNICAL OBSERVATION TESTING AS DEFINED IN APPENDIX J TO ENSURE COMPLIANCE OF ALL REQUIREMENTS IN SOILS ENGINEERING REPORT, AND ENGINEERING GEOLOGY REPORT. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, CONTRACTOR AND THE BUILDING OFFICIAL. THE GEOTECHNICAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE GEOTECHNICAL OBSERVER'S KNOWLEDGE, HAVE BEEN RESOLVED. SEE SOIL'S REPORT.
    ac. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WRITTEN NOTICE TO THE OFFICE OF THE GEOTECHNICAL ENGINEER WITH AS MUCH NOTICE AS POSSIBLE AND A MINIMUM OF 24 HOURS IN ADVANCE OF THE CONSTRUCTION SCHEDULE IN ORDER TO FACILITATE SCHEDULING OF THE REQUIRED GEOTECHNICAL OBSERVATIONS/TESTING.
    ad. FAILURE TO COMPLETE REQUIRED GEOTECHNICAL OBSERVATION MAY REQUIRE REMOVAL OF ANY FINISHES THAT HAVE BEEN SUBSEQUENTLY INSTALLED, OR DISASSEMBLY OF THE CONSTRUCTION FOR OBSERVATION PURPOSES.
    ae. APPROVAL BY THE CITY BUILDING INSPECTOR DOES NOT PRECLUDE OBSERVATION BY THE GEOTECHNICAL ENGINEER AND ACCEPTANCE OF REVIEW BY THE GEOTECHNICAL ENGINEER DOES NOT PRECLUDE THE INSPECTION PROCESS BY THE CITY BUILDING INSPECTOR AND ANY OTHER CODE REQUIREMENTS FOR INSPECTION.
    af. REMOVAL AND REPLACEMENT OF ANY MATERIALS AND FINISHES AND/OR DAMAGED BY THE REMOVAL PROCESS, OR AS REQUIRED FOR CORRECTIVE ACTION, SHALL BE AT THE CONTRACTOR'S EXPENSE, NOT THE OWNER, GEOTECHNICAL ENGINEER OR GEOTECHNICAL OBSERVER. ANY REVISIONS OF PLANS NEED THE WET STAMP AND WET SIGNATURE OF RESPONSIBLE CIVIL AND GEOTECHNICAL ENGINEERS, AND SUBMIT TWO SETS OF THESE PLANS TO BE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.
    46. SHOW ON PLAN AND PROVIDE CROSS SECTION AND CONSTRUCTION DETAILS OF UNDERGROUND DRAIN AND SURFACE DRAINAGE LAYOUT. THE FINAL POINT OF DISCHARGE FROM WITHIN THE PROPERTY TO AN APPROVED DRAIN SERVICE OR PUBLIC CURB AND GUTTER, ALLEYS, ETC.
    47. PRIOR TO THE POURING OF FOUNDATION, FOOTING, SLAB/PAVEMENT OR ISSUANCE OF BUILDING PERMIT, PROVIDE THE FOLLOWING:
    ag. SOIL'S REPORT FROM THE SOILS ENGINEER TO CERTIFY THE PROPER COMPACTION, EXCAVATION AND PREPARATION OF SOIL FOR THE FOUNDATION, AND COMPLIANCE WITH ALL THE REQUIREMENTS OF SOILS REPORT SUBMITTED AND ANY ADDENDUM AND/OR SUBSEQUENT SOIL'S REPORT. USE BUILDING DEPARTMENT STANDARD CERTIFICATION FORM. SOIL'S ENGINEER TO WET STAMP, WET SIGN AND INDICATE EXPIRATION DATE OF HIS LICENSE ON THE CERTIFICATION FORM.
    ah. ROUGH GRADING CERTIFICATION FROM LICENSED (GRADING) CIVIL ENGINEER. USE BUILDING DEPARTMENT STANDARD CERTIFICATION FORM. CIVIL ENGINEER TO WET STAMP, WET SIGN AND INDICATE EXPIRATION DATE OF HIS LICENSE ON THE CERTIFICATION FORM.
    ai. ROUGH GRADING INSPECTION APPROVAL FROM THE CITY.
    48. WHERE NECESSARY, CHECK DAMS, CRIBBING, RIPRAP, OR OTHER DEVICES OR METHODS SHALL BE EMPLOYED TO CONTROL EROSION AND PROVIDE SAFETY. [CBC J110.2]

GRADING GENERAL NOTES (CONTINUED):

49. TO PROTECT ADJACENT PROPERTY, PROVIDE PERMANENT EROSION CONTROL MEANS. [CBC J108.3]
50. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. EROSION OF THE GROUND IN THE AREA OF DISCHARGE SHALL BE PREVENTED BY INSTALLATION OF NONEROSIVE DOWN DRAINS OR OTHER DEVICES. [J109.4]
51. ANY TEMPORARY AND PERMANENT DE-SILTING CATCH BASINS, DRAINAGE, SURFACING, SLOPE PLANTING, AND OTHER EROSION, SURFACE WATER, AND FLOOD CONTROL PROTECTIVE DEVICES, INSTALLATIONS, AND MEASURES TO BE INSTALLED UPON SUCH PROPERTY AS ARE REASONABLY NECESSARY, BASED UPON THE TIME OF YEAR DURING WHICH THE WORK WILL BE COMMENCED AND COMPLETED, AND UPON THE MAXIMUM RAINFALL INTENSITY EXPECTED UNDER CONDITIONS OF A 25-YEAR FREQUENCY STORM, TO PREVENT ANY DAMAGE TO ANY PUBLIC OR PRIVATE PROPERTY, INSTALLATIONS AND MEASURES WILL COMPLY WITH THE FULLERTON BUILDING CODE.



VICINITY MAP
N.T.S.

N.A.

SHEET INDEX

C01 - TITLE SHEET
C02 - GRADING PLAN
C03 - UTILITY PLAN
C04 - WATER QUALITY MANAGEMENT PLAN
C05 - SECTIONS

UTILITIES CONTACT INFORMATION:

GAS
COMPANY: SOCALGAS
ADDRESS: 716 S. STATE COLLEGE BLVD.
ANAHEIM, CA 92805
CONTACT NO: (800)427-2200

ELECTRIC
COMPANY: SOUTHERN CALIFORNIA EDISON
ADDRESS: 1851 W. VALENCIA DR.
FULLERTON, CA 92833
CONTACT NO: (800)655-4555

WATER
COMPANY: CITY OF FULLERTON WATER
ADDRESS: FULLERTON CITY HALL
303 W. COMMONWEALTH AVE.
FULLERTON, CA 92832
CONTACT NO: (714)738-6890

FEMA FLOOD DATA:

FLOOD ZONE: ZONE X

MAP NO.: 06059C0132J

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF RESERVOIR STREET, AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 68, PAGE 47, OF RECORDS OF SURVEY, BEING NORTH 01°29'30" WEST.

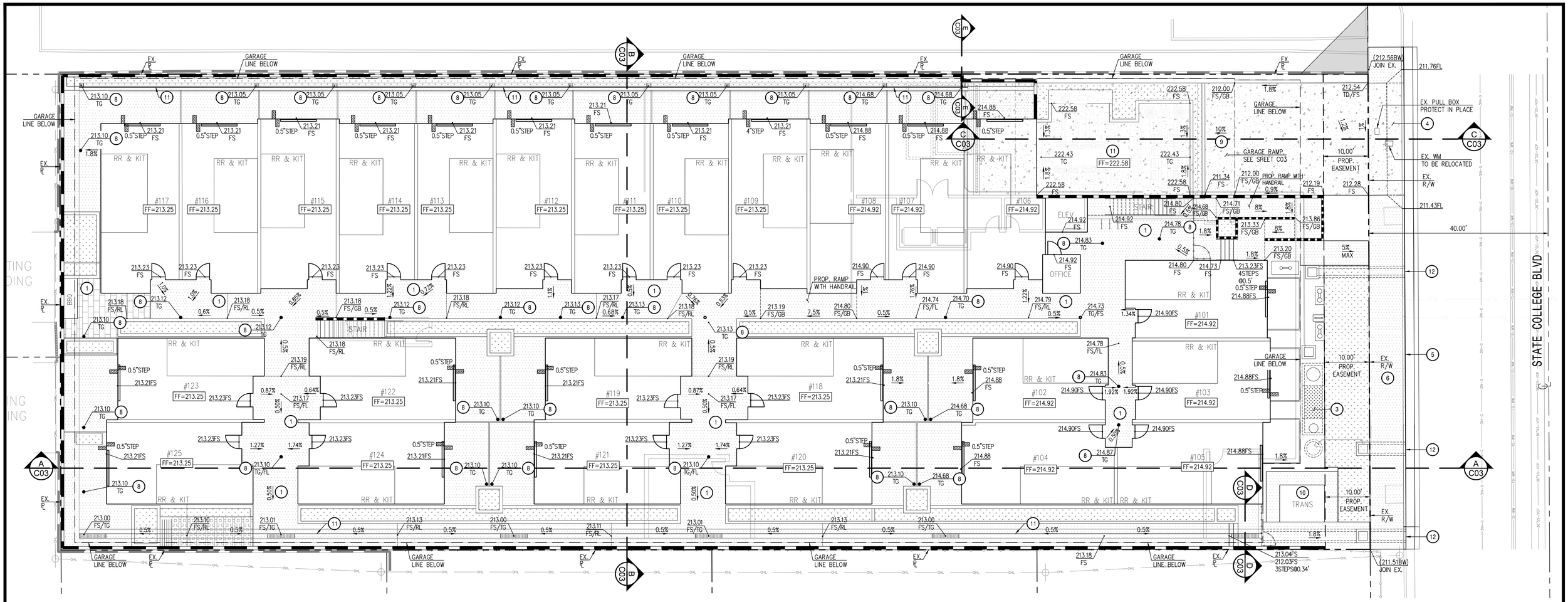
BENCHMARK:

DESIGNATION: 2D-36-99
ELEVATION: 218.538'
DESCRIPTION:
FOUND 3-3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "2D-36-99" SET IN THE TOP OF THE SOUTHWEST CORNER OF A 4.5' X 29' CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEAST PART OF THE INTERSECTION OF STATE COLLEGE BOULEVARD AND CHAPMAN AVENUE; 125' NORTH OF HE CENTERLINE OF CHAPMAN AVENUE, 43' EAST OF THE CENTERLINE OF STATE COLLEGE BOULEVARD.

CONTACT INFORMATION:

OWNER:
GEOTECH DEVELOPMENT CORP.
324 N. MARIE AVE.
FULLERTON, CA 92833
(714)726-7383

**CIVIL



LEGEND:

- LANDSCAPE AREA
- PCC DRIVEWAY
- CONCRETE WALKWAY

GRADING CONSTRUCTION NOTES

1. CONSTRUCT 4" CONCRETE WALKWAY
2. CONSTRUCT 4" TRENCH DRAIN
3. FURNISH & INSTALL MODULAR WETLAND MANUFACTURED BY BIOCLEAN, MODEL MWS-L-4-15
4. CONSTRUCT DRIVEWAY PER CITY OF FULLERTON STD. DWG. 121-1
5. CONSTRUCT 8" CURB & GUTTER PER CITY OF FULLERTON STD. DWG. 120
6. CONSTRUCT SIDEWALK PER CITY OF FULLERTON STD. DWG. 122
7. PODIUM PATIO PER ARCHITECTURAL/STRUCTURAL PLAN SET
8. FURNISH & INSTALL 4" STORM DRAIN INLET
9. GARAGE RAMP PER ARCHITECTURAL/STRUCTURAL PLAN SET
10. TRANSFORMER PER ARCHITECTUAL/ELECTRICAL PLAN SET
11. CONSTRUCT 12" WIDE SD CHANNEL BOX
12. CONSTRUCT PARKWAY CULVERT

10' 0 10' 20' 30'

SCALE: 1" = 10'

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Know what's below. Call before you dig.

BENCH MARK:

DESIGNATION: 2D-36-99
ELEVATION: 218.538'
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FOUND 3-3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "2D-36-99" SET IN THE TOP OF THE SOUTHWEST CORNER OF A 4.5' X 29' CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEAST PART OF THE INTERSECTION OF STATE COLLEGE BOULEVARD AND CHAPMAN AVENUE; 125' NORTH OF HE CENTERLINE OF CHAPMAN AVENUE, 43' EAST OF THE CENTERLINE OF STATE COLLEGE BOULEVARD.

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REVISIONS

DATE	NO.	DESCRIPTION	BY	CH'K	APP

DESIGN BY: TT

DRAWN BY: AL/DD/CB

CHECKED BY: TT

DATE: 03-15-2022

PLUMP ENGINEERING INC.
CONSULTING ENGINEERS IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, SURVEYING, ARCHITECTURAL
914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
(714) 385-1835, FAX (714) 385-1834

TRYFON TRYFONOPOULOS — 03-15-2022 DATE

STATE COLLEGE TOWNHOMES

GRADING PLAN

245 N. STATE COLLEGE BLVD.
FULLERTON, CA 92831

DRAWING NO. C02

SHEET: 2 OF 5

PROJECT NO. 2107079

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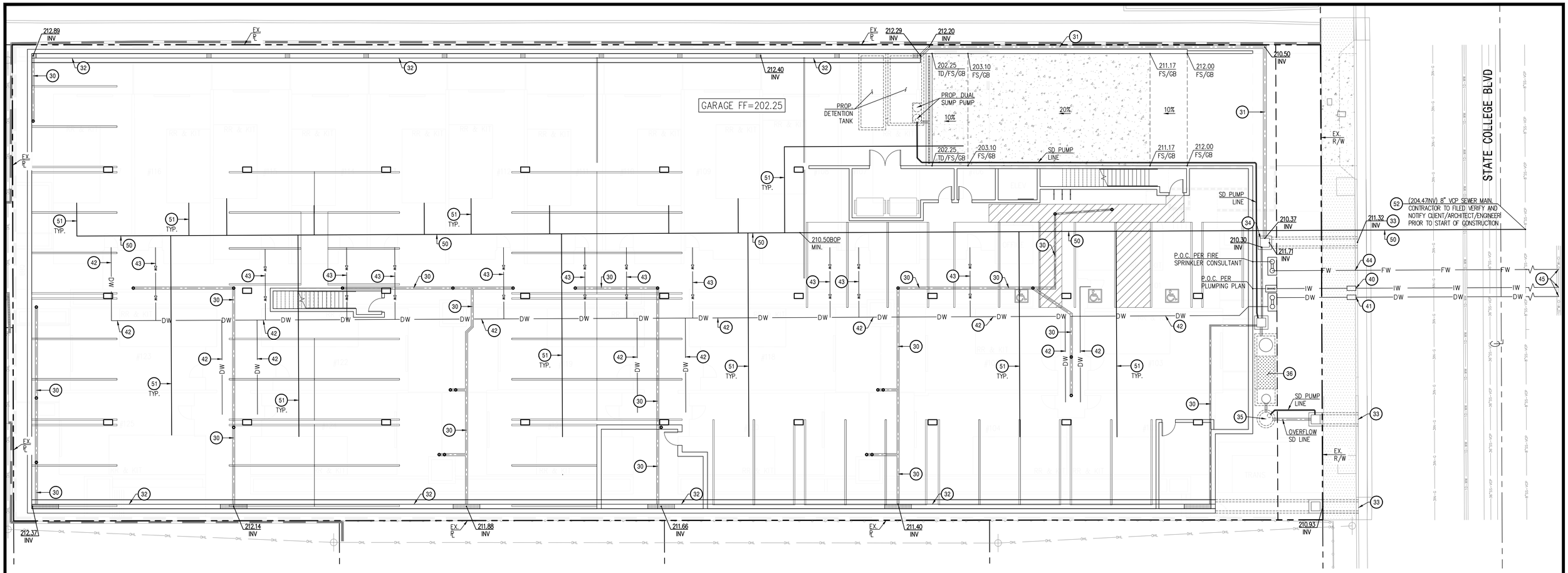

STORM DRAIN CONSTRUCTION NOTES

- (30) FURNISH & INSTALL 4" STORM DRAIN LINE
- (31) FURNISH & INSTALL 8" STORM DRAIN LINE
- (32) CONSTRUCT 12" WIDE SD CHANNEL BOX
- (33) CONSTRUCT PARKWAY CULVERT
- (34) CONSTRUCT 24"X24" STORM DRAIN STRUCTURE
- (35) CONSTRUCT LIFT STATION WITH SD PUMP
- (36) FURNISH & INSTALL MODULAR WETLAND PER GRADING PLAN SHEET C02

NOTE:

PROPOSED STORM DRAIN LINE TO BE INSTALL ON GARAGE CEILING

WATER CONSTRUCTION NOTES

- (40) FURNISH & INSTALL 1" WATER SERVICE, METER, AND BACFKLOW DEVICE
- (41) FURNISH & INSTALL 6" WATER SERVICE, METER, AND BACFKLOW DEVICE
- (42) FURNISH & INSTALL 4" WATER LINE
- (43) FURNISH & INSTALL 1/2" WATER LINE & SUB-METER FOR EACH UNIT
- (44) FURNISH & INSTALL 6" FIRE WATER SERVICE AND DCDA DEVICE
- (45) CONNECT TO EXISTING 10" WATER MAIN

NOTE:

PROPOSED WATER LINE TO BE INSTALL ON GARAGE CEILING

SEWER CONSTRUCTION NOTES

- (50) FURNISH & INSTALL 6" SEWER LINE
- (51) FURNISH & INSTALL 4" SEWER LINE
- (52) CONNECT TO EXISTING 8" SEWER MAIN

NOTE:

PROPOSED SEWER LINE TO BE INSTALL ON GARAGE CEILING

10' 0 10' 20' 30'

SCALE: 1" = 10'

811 Know what's below. Call before you dig.

BENCH MARK:

DESIGNATION: 2D-36-99
ELEVATION: 218.538'
DESCRIPTION:
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REVISIONS

DATE	NO.	DESCRIPTION	BY	CH'K	APP

DESIGN BY: TT

DRAWN BY: AL/DD/CB

CHECKED BY: TT

DATE: 03-15-2022

PLUMP ENGINEERING INC.
CONSULTING ENGINEERS IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, SURVEYING, ARCHITECTURAL
914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
(714) 385-1835, FAX (714) 385-1834

TRYFON TRYFONOPOULOS 03-15-2022 DATE

STATE COLLEGE TOWNHOMES

UTILITY PLAN

245 N. STATE COLLEGE BLVD.
FULLERTON, CA 92831

DRAWING NO. C03

SHEET: 3 OF 5

PROJECT NO. 2107079

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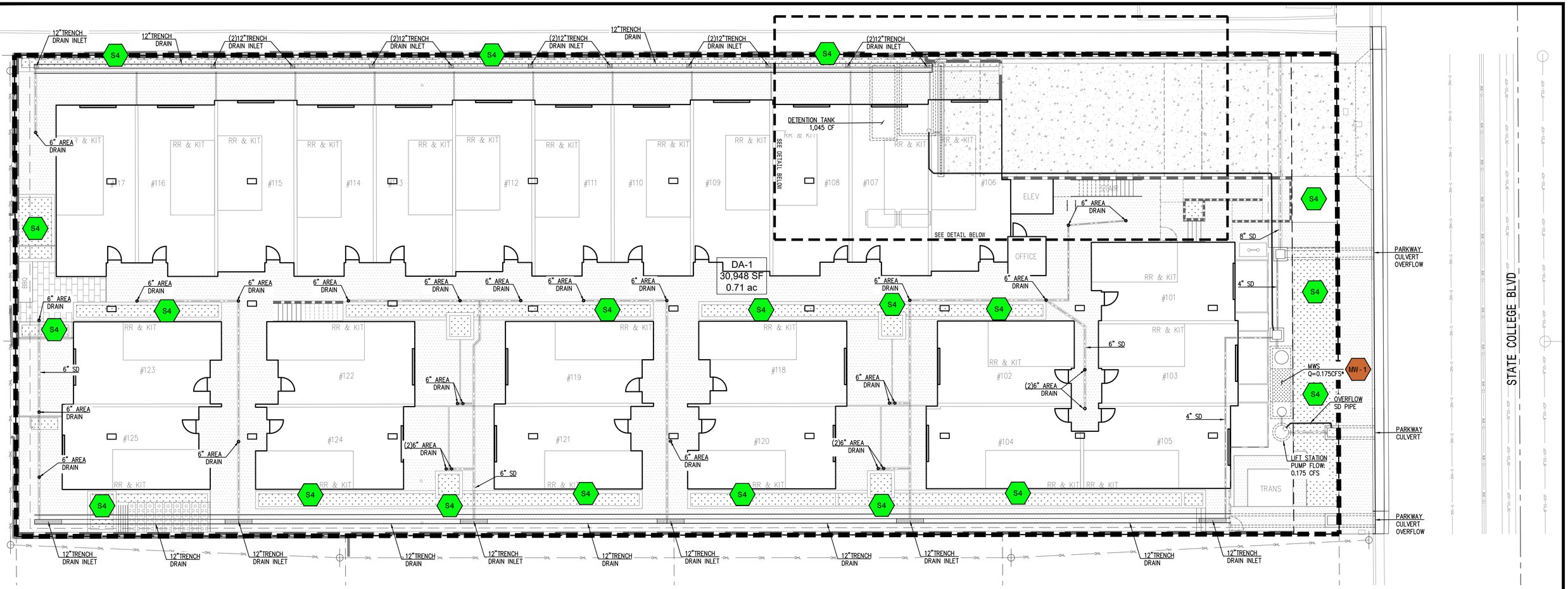


LEGEND:

- PROPOSED LANDSCAPE AREA
- PROP. PCC
- PROP. CONCRETE WALKWAY
- PROPOSED FLOW DIRECTION
- DA BOUNDARY
- DA-X X,XXX SF XX.XX ac — DRAINAGE AREA INFORMATION

TREATMENT CONTROL BMP'S:

- MW-1 — MODULAR WETLANDS UNIT

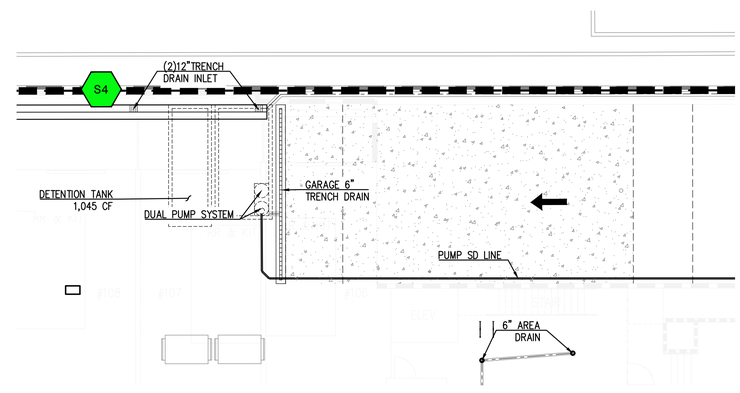
STRUCTURAL CONTROL BMP'S:

- S4 — EFFICIENT IRRIGATION & LANDSCAPE DESIGN

PERVIOUS AND IMPERVIOUS AREA

DA	IMPERVIOUS AREA	PERVIOUS AREA	TOTAL
1	30,354 SF (0.70 AC)	595 SF (0.01 AC)	30,948 SF (0.71 AC)

* **MODULAR WETLANDS UNIT:**
MODEL: MWS-L-4-15
REQUIRED FLOWRATE: 0.153 CFS
PROVIDED FLOWRATE: 0.175 CFS
CALCULATIONS CAN BE FOUND IN WQMP REPORT UNDER "ATTACHMENT G - WORKSHEETS"
BMP CROSS-SECTIONS CAN BE FOUND IN WQMP REPORT UNDER "ATTACHMENT C - EXHIBIT"



DETAIL
SCALE: 1" = 10'

10' 0 10' 20' 30'
SCALE: 1" = 10'

Know what's below. Call before you dig.

BENCH MARK:
DESIGNATION: 20-36-99
ELEVATION: 218.538'
DESCRIPTION:
FOUND 3-3/4' OCS ALUMINUM BENCHMARK DISK STAMPED '20-36-99' SET IN THE TOP OF THE SOUTHWEST CORNER OF A 4.5' X 29' CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEAST PART OF THE INTERSECTION OF STATE COLLEGE BOULEVARD AND CHAPMAN AVENUE; 125' NORTH OF HE CENTERLINE OF CHAPMAN AVENUE, 43' EAST OF THE CENTERLINE OF STATE COLLEGE BOULEVARD.

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DATE	NO.	DESCRIPTION	BY	CH'K	APP

DESIGN BY: TT
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CHECKED BY: TT
DATE: 03-15-2022

PLUMP ENGINEERING INC.
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914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
(714) 385-1835, FAX (714) 385-1834
TRYFON TRYFONOPOULOS 03-15-2022 DATE

STATE COLLEGE TOWNHOMES

PRELIMINARY
WATER QUALITY MANAGEMENT PLAN

245 N. STATE COLLEGE BLVD.
FULLERTON, CA 92831

DRAWING NO. C04
SHEET: 4 OF 5
PROJECT NO. 2107079

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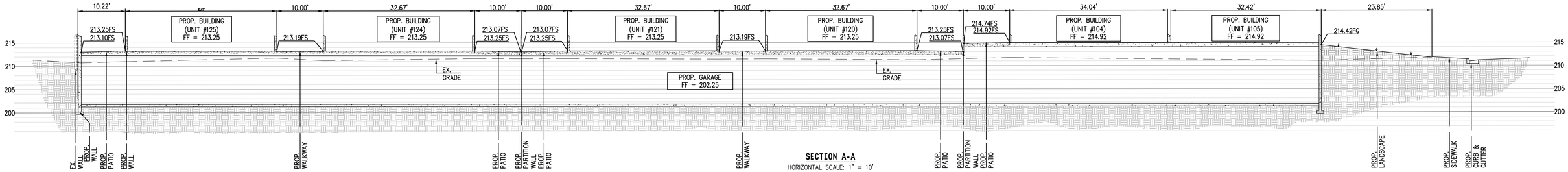
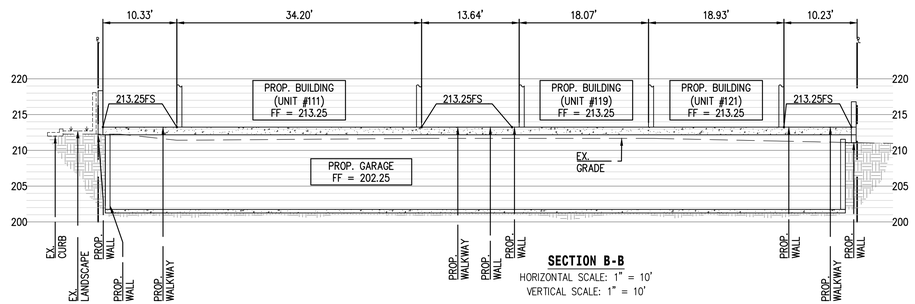
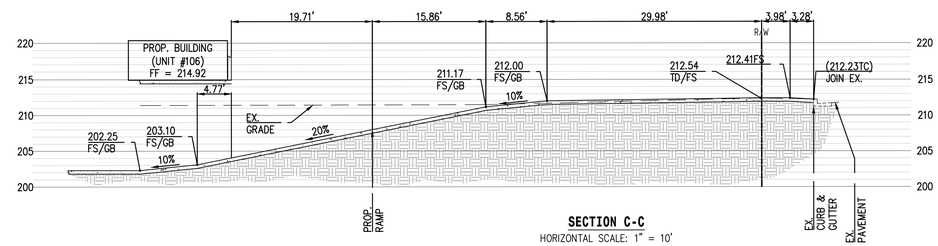


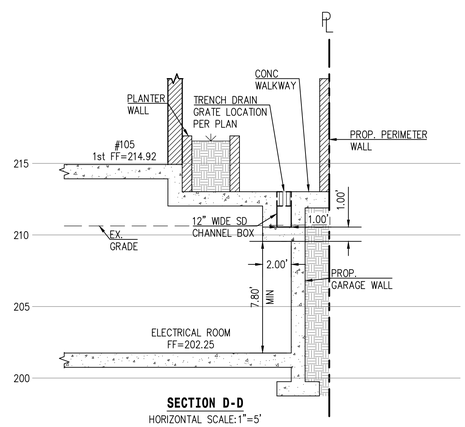
SECTION A-A
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 10'



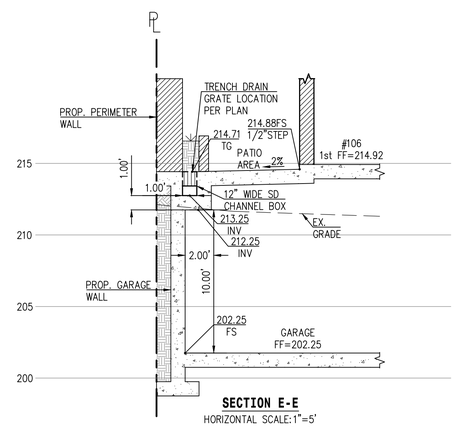
SECTION B-B
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 10'



SECTION C-C
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 10'



SECTION D-D
HORIZONTAL SCALE:1"=5'
VERTICAL SCALE:1"=5'



SECTION E-E
HORIZONTAL SCALE:1"=5'
VERTICAL SCALE:1"=5'

Know what's below. Call before you dig.

BENCH MARK:

DESIGNATION: 2D-36-99
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REVISIONS

DATE	NO.	DESCRIPTION	BY	CH'K	APP

DESIGN BY: TT

DRAWN BY: AL/DD/CB

CHECKED BY: TT

DATE: 03-15-2022

PLUMP ENGINEERING INC.
CONSULTING ENGINEERS IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, SURVEYING, ARCHITECTURAL
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ANAHEIM, CALIFORNIA 92805
(714) 385-1835, FAX (714) 385-1834

TRYFON TRYFONOPOULOS — 03-15-2022 DATE

STATE COLLEGE TOWNHOMES

SECTIONS

245 N. STATE COLLEGE BLVD.
FULLERTON, CA 92831

DRAWING NO. C05

SHEET: 5 OF 5

PROJECT NO. 2107079

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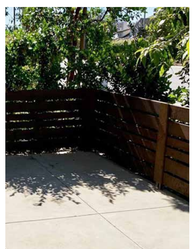
TOTAL PROJECT LANDSCAPE AREA:
2,858 S.F.



245 STATE COLLEGE TOWNHOMES - FULLERTON, CA

Conceptual Landscape Plan L.1.1

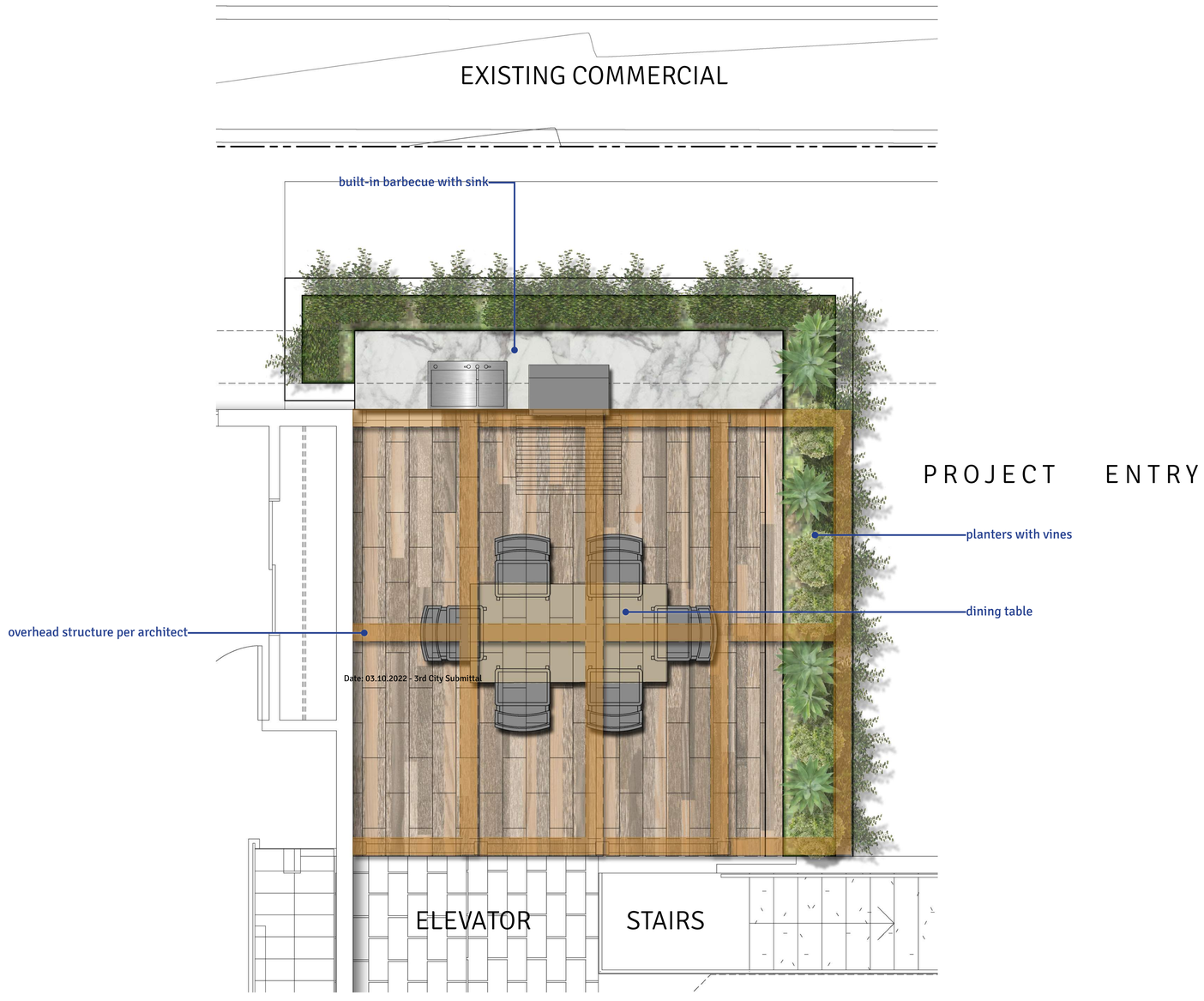
GEOTECH DEVELOPMENT CORPORATION

Date: 03.10.2022 - 3rd City Submittal

0' 4' 8' 12' 16'

scale: 1/8" = 1'-0"

CALIFORNIA WILD
LANDSCAPE ARCHITECTURE
akoutzoukis@gmail.com | 714.519.1027



245 STATE COLLEGE TOWNHOMES - FULLERTON, CA

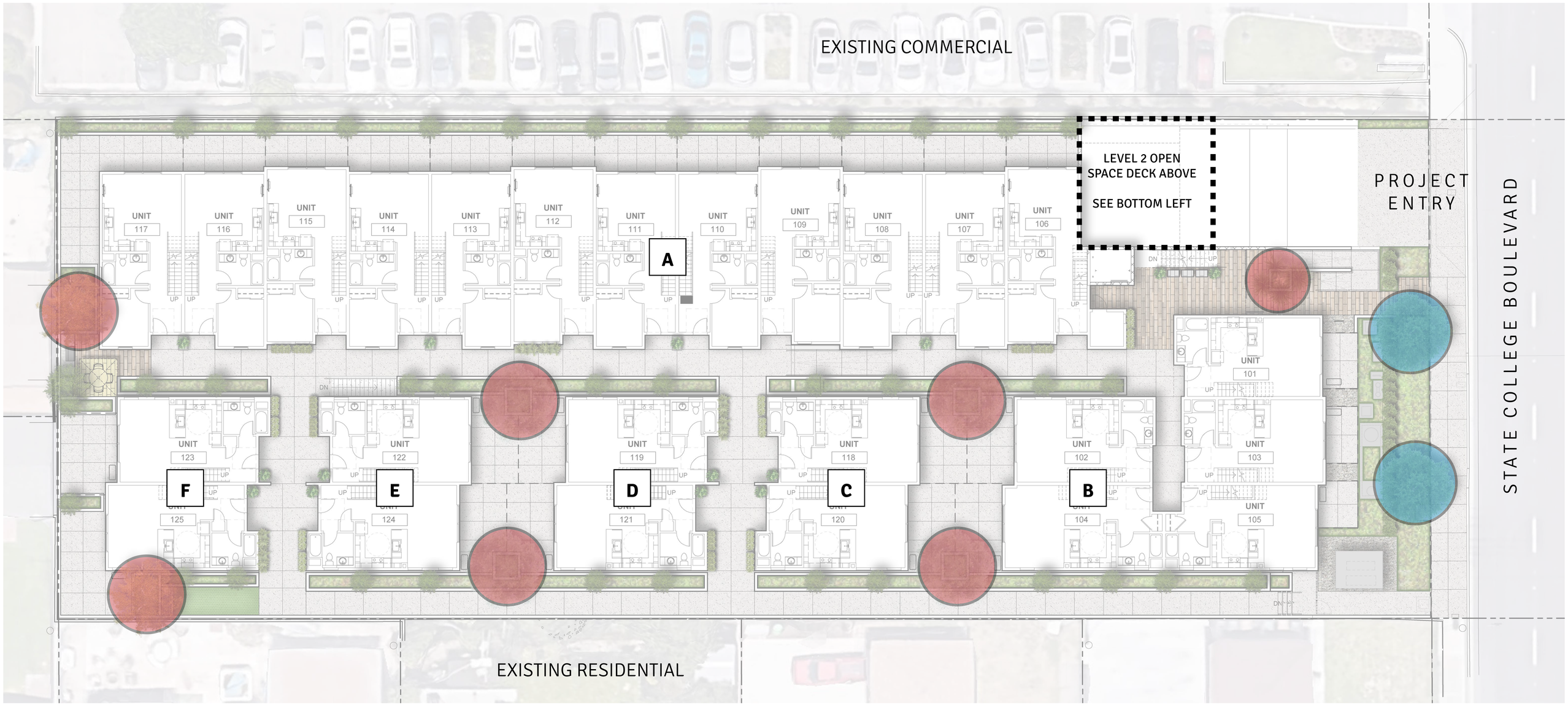
Rooftop Conceptual Landscape Plan **L.1.2**

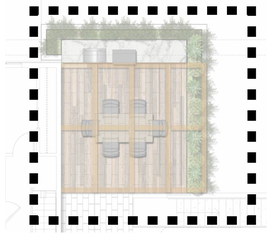
GEOTECH DEVELOPMENT CORPORATION

0' 1' 2' 3' 4'

scale: 1/2" = 1'-0"

CALIFORNIA WILD
LANDSCAPE ARCHITECTURE
akoutzoukis@gmail.com | 714.519.1027





LEVEL 2 OPEN SPACE DECK

SHRUB PLANTING LEGEND, CONTINUED

SHRUBS - 1 GAL. MIN. SIZE

Juncus patens	Gray rush
Muhlenbergia rigens	Deergrass
Olea europaea 'Little Ollie'	Little Ollie Olive
Pittosporum 'Compactum'	Compact pittosporum
Pittosporum 'Golf Ball'	Golf Ball pittosporum
Rosmarinus 'Huntington Carpet'	Rosemary
Sansevieria trifasciata	Snake plant
Sesleria autumnalis	Autumn Moor Grass
Westringia fruticosa	'Smokey' Coast rosemary
Zamia furfacia	Cardboard palm

SHRUB PLANTING LEGEND

SHRUBS - 1 GAL. MIN. SIZE

Acacia cognata 'Cousin It'	Cousin It Acacia
Aeonium urbicum	Salad bowl
Agave attenuatta	Foxtail Agave
Agave 'Blue Flame'	Blue Flame Agave
Asparagus densiflorus 'myersii'	Asparagus fern
Carex divulsa	European Sedge
Chrondropetalum tectorum	Cape Rush
Cordyline 'Soledad'	Soledad Cordyline
Dianella revoluta 'Little Rev'	Little Rev Flax Lily
Dianella tasmanica 'variegata'	Variegated Flax Lily

TREE PLANTING LEGEND

STREET TREES - 24" BOX MIN. SIZE

Selection to be coordinated with City Arborist

ONSITE TREES - 24" BOX MIN. SIZE

Arbutus 'Marina'	Hybrid Strawberry tree
Dracaena draco	Dragon tree
Dracaena marginata	Dragon tree
Laurus nobilis	Bay laurel
Olea europaea	Olive - Fruiting & Fruitless Varieties
Podocarpus gracilior	Fern Pine
Rhus lancea	African sumac
Tristania laurina	Water gum

245 STATE COLLEGE TOWNHOMES - FULLERTON, CA

Conceptual Planting Plan L.2.1

GEOTECH DEVELOPMENT CORPORATION

Date: 03.10.2022 - 3rd City Submittal

0' 4' 8' 12' 16'

scale: 1/8" = 1'-0"

CALIFORNIA WILD
LANDSCAPE ARCHITECTURE
akoutzoukis@gmail.com | 714.519.1027

Hybrid Strawberry tree
Arbutus 'Marina'

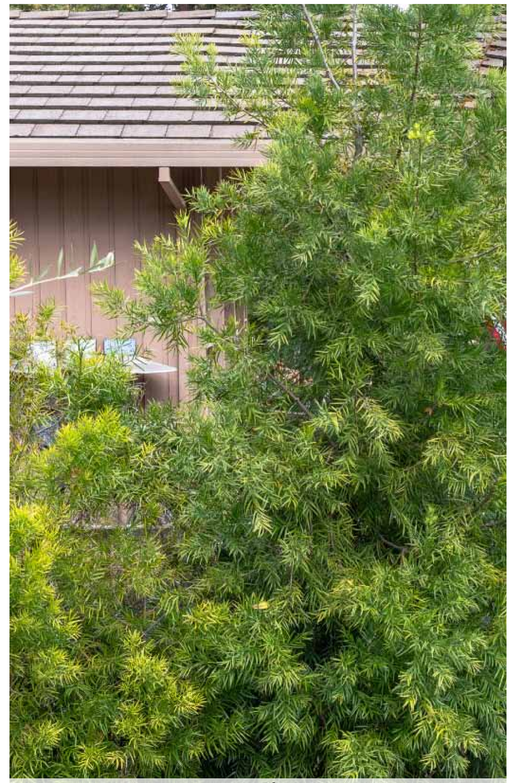
© Robert Perry

Bay laurel
Laurus nobilis

Olea europaea
Olive - Fruiting & Fruitless Varieties

Dragon trees
Dracaena draco

Dragon tree
Dracaena marginata



Fern Pine
Podocarpus gracilior

Water gum
Tristania laurina

African sumac
Rhus lancea

245 STATE COLLEGE TOWNHOMES - FULLERTON, CA

Plant Palette - Trees **L.2.2**

GEOTECH DEVELOPMENT CORPORATION

CALIFORNIA WILD
LANDSCAPE ARCHITECTURE

Date: 03.10.2022 - 3rd City Submittal

akoutzoukis@gmail.com | 714.519.1027

Golf Ball pittosporum
Pittosporum 'Golf Ball'

Compact pittosporum
Pittosporum 'Compactum'

Blue Flame Agave
Agave 'Blue Flame'

Foxtail Agave
Agave attenuatta

Waxleaf Privet
Ligustrum japonicum 'Texanum'

Coast rosemary
Westringia fruticosa 'Smokey'

Little Ollie Olive
Olea europaea 'Little Ollie'

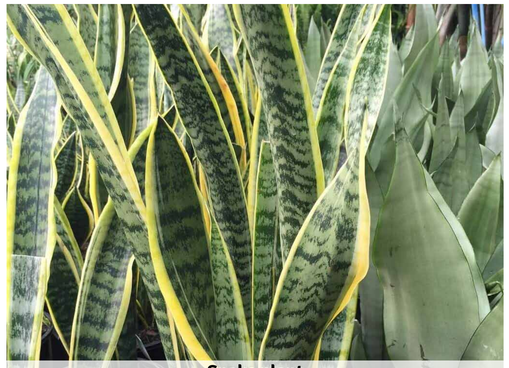
Cardboard palm
Zamia furfacia

Aeonium urbicum
Salad bowl

Cape Rush
Chrondropetalum tectorum
WQ PLANT

Rosemary
Rosmarinus 'Huntington Carpet'

Cousin It Acacia
Acacia cognata 'Cousin It'



Snake plant
Sansevieria trifasciata

Asparagus fern
Asparagus densiflorus 'myersii'

European Sedge
Carex divulsa
WQ PLANT

Variegated Flax Lily
Dianella tasmanica 'variegata'

Little Rev Flax Lily
Dianella revoluta 'Little Rev'

Autumn Moor Grass
Sesleria autumnalis

Soledad Cordyline
Cordyline 'Soledad'

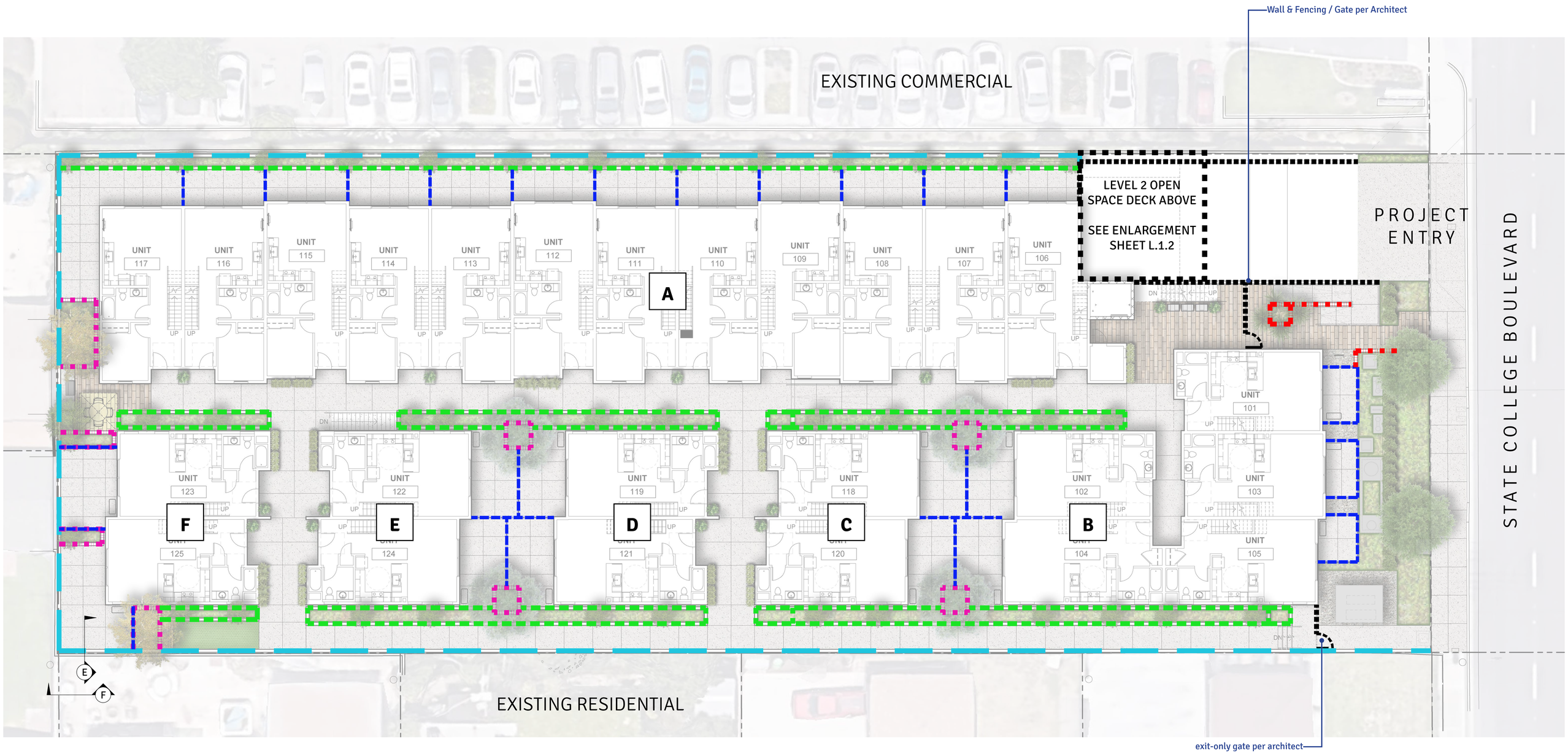
245 STATE COLLEGE TOWNHOMES - FULLERTON, CA

Plant Palette - Shrubs L.2.3

GEOTECH DEVELOPMENT CORPORATION

Date: 03.10.2022 - 3rd City Submittal

CALIFORNIA WILD
LANDSCAPE ARCHITECTURE
akoutzoukis@gmail.com | 714.519.1027



WALL AND FENCE LEGEND:		DETAIL
	RAISED PLANTER - HEIGHT VARIES 24" TO 48" BOARDFORM CONCRETE CONCRETE PER CONTRACTOR	A, L.5
	RAISED PLANTER - 42" HEIGHT BURNISHED CMU BLOCK BY ORCO OR EQUIVALENT	B, L.5
	RAISED PLANTER - HEIGHT VARIES 24" TO 48" BURNISHED CMU BLOCK BY ORCO OR EQUIVALENT	B, L.5
	SCREEN FENCE - 6' HEIGHT TOTAL WOOD - NATURAL, COMPOSITE, OR ALUMINUM	C&D, L.5
	6' HT. MAX. BLOCK WALL SPLITFACE CMU BLOCK BY ORCO OR EQUIVALENT	E&F, L.5

245 STATE COLLEGE TOWNHOMES - FULLERTON, CA

Conceptual Landscape Wall & Fence Plan L.3.1

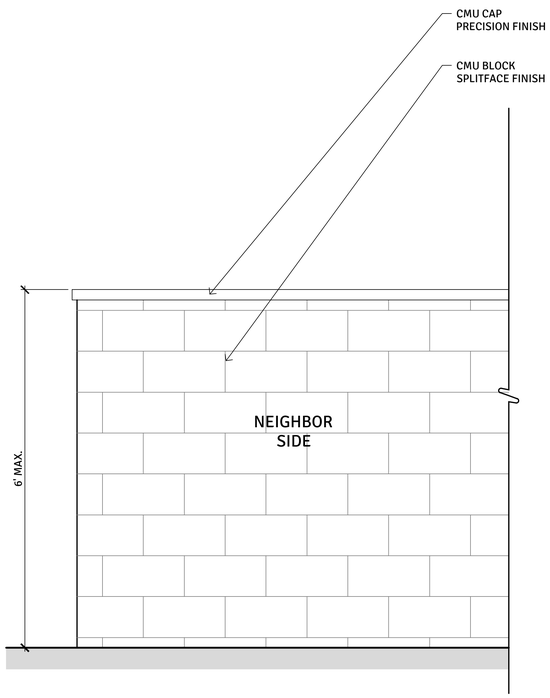
GEOTECH DEVELOPMENT CORPORATION

Date: 03.10.2022 - 3rd City Submittal

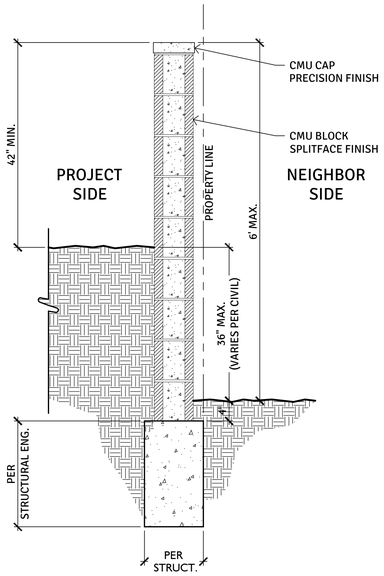
0' 4' 8' 12' 16'

scale: 1/8" = 1'-0"

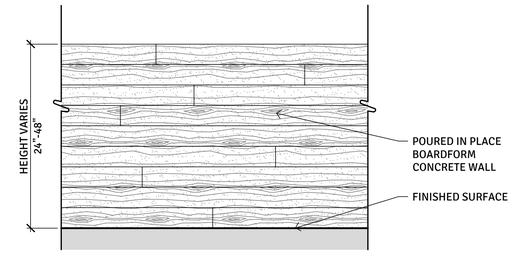
CALIFORNIA WILD
LANDSCAPE ARCHITECTURE
akoutzoukis@gmail.com | 714.519.1027



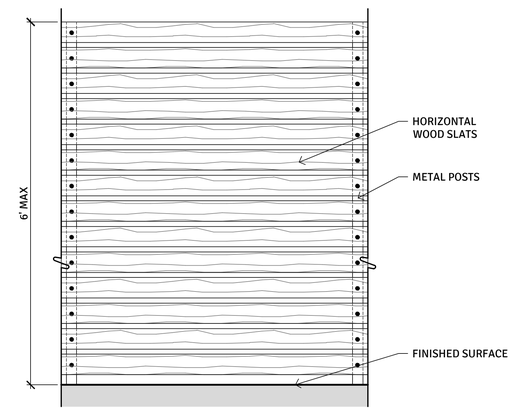
F PERIMETER BLOCK WALL ELEVATION 1" = 1'-0"



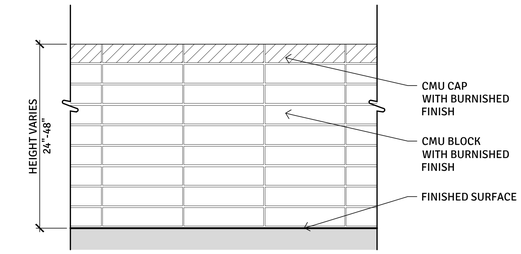
E PERIMETER BLOCK WALL CONCEPTUAL SECTION 1" = 1'-0"



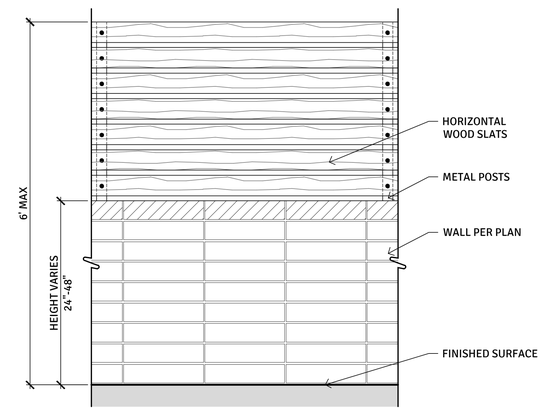
B RAISED PLANTER WITH BOARDFORM FINISH 1" = 1'-0"



D WOOD SCREEN FENCE 1" = 1'-0"



A RAISED PLANTER WITH CMU BLOCK 1" = 1'-0"



C WOOD SCREEN FENCE ON PLANTER WALL 1" = 1'-0"

MEMORANDUM

February 9, 2023

To:
Edgardo Caldera
Senior Planner
City of Fullerton

From:
Alia Hokuki, AICP
Senior Project Manager
Psomas

Subject: Substantial Evidence for Notice of Exemption for the State College Townhomes Project

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SECTION 15332, IN-FILL DEVELOPMENT (CLASS 32) CRITERIA

Section 15332, In-Fill Development Projects (Class 32), applies to the proposed State College Townhomes Project (Project). Class 32 consists of environmentally benign infill projects that are consistent with the General Plan and Zoning designations and requirements. This class of projects are characterized as in-fill development meeting the following conditions:

a. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.

b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

c. The project site has no value as habitat for endangered, rare, or threatened species.

d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

e. The site can be adequately served by all required utilities and public services.

PROJECT DESCRIPTION

The proposed Project involves construction of 25 two-story multi-family rental units, over one level of subterranean garage parking in the City of Fullerton (City). The Project utilizes density bonus and will dedicate three units to very low-income households. The proposed residences consist of four 3-bedroom units, eight 3-bedroom plus private roof deck units, and thirteen 2-bedroom units all with private outdoor terraces.

The 0.71-acre Project site is located at 245 North State College Boulevard within an urbanized portion of the City. The Project site is currently developed with two single-story residential structures and one accessory structure. Access to the property is off State College Boulevard. The Project site is bound to the west and south by single-family residential properties, to the north by a commercial restaurant/parking lot, and to the east by State College Boulevard.

CITY OF FULLERTON GENERAL PLAN LAND USE MAP AND GUIDELINES

The City's Zoning designation for the Project site is Garden-Type Multiple-Family Residential (R-G) (City of Fullerton 2022a).

Land Use: The City's General Plan, The Fullerton Plan, allows for the development of a variety of residential land uses within R-G designation, including but not limited to Single Family, Two Family, and

Multi-family housing (City of Fullerton 2012). The Project proposes development of multi-family housing, consistent with this designation.

Density: The Fullerton Plan specifies a maximum density of 15.1 dwelling units (DU)/Acre for developments within R-G Zones; however, the Project would utilize a density bonus, dedicating three units to very low-income households. Without a density bonus, the Project would be allowed to develop 19 units with subterranean parking; however, the density bonus, a 35 percent density increase, allows for the development of up to 26 units. The Project currently proposes development of 25 units, consistent with the allowable density for the Project site.

Lot Coverage: The R-G Zoning allows for 60 percent maximum lot coverage. The Project with a total square footage of 17,527 within the 30,947-square-foot site represents a 56.6 percent coverage of the Project site. This is consistent with the maximum allowable lot coverage identified in The Fullerton Plan.

Open Space: The Fullerton Plan requires projects to provide 800 square feet (sf) of open space for each 2-bedroom unit and 1000 sf for each 3-bedroom unit; as proposed, this would require a total of 22,400 sf of open space for the Project. However, as part of the Project's density bonus, the Project, has requested a reduction of 29 percent in open space requirements (i.e., 6,496 sf) resulting in a requirement of 15,904 sf. As proposed, the Project would provide a total of 15,930 sf of open space. This would be consistent with the open space requirements specific to the proposed Project.

Height: The maximum allowable building height for R-G Zoned developments is 20 ft/1 story if within 50 ft of R-1 property. While the Project site is within 50 ft of R-1 property, the Project's density bonus includes an incentive allowing for maximum building height of 2 stories The Project proposes 25 two-story residential units, consistent with the allowable height specific to the proposed Project.

Parking: The City's parking requirements for projects within R-G Zones of the City are 1.75 garage spaces plus 0.75 space open guest parking for 2-bedroom unit and 2 garage spaces plus 1 space open guest parking for units with 3 or more bedrooms. However, as part of the Project's density bonus, Project's specific parking requirements are as follows:

- 2 Spaces Per 2- or 3-Bedroom Unit: 22 units X 2 spaces = 44 Spaces
- 0.5 Spaces Per Very Low-Income Unit: 3 units X 0.5 space = 1.5 Spaces
- Total Spaces Required per Density Bonus: 46 Spaces

The proposed Project will provide a total of 56 assigned parking spaces and 6 guest parking spaces, exceeding the parking requirements applicable to the Project.

As described above, there would be no conflict with City land use designation, requirements, and development standards.

SECTION 15300.2–EXCEPTIONS CRITERIA

Categorical Exemptions are subject to the additional conditions described in Section 15300.2, Exceptions, of the State CEQA Guidelines, as follows:

Location

> "(a) Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located – a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies."

This exception is not applicable to the Class 32 Categorical Exemption. Nevertheless, it is noted the Project site does not contain a designated, mapped, or adopted environmental resource of hazardous or critical concern.

Cumulative Impacts

> "(b) Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant."

Based on review of the City Planning Department's active development projects and the City's Public Works Department's Capital Improvement Projects under construction, there are no active development projects within one-half mile of the Project site (City of Fullerton 2020, City of Fullerton 2023a). However, there are two planned or active capital improvement projects within 1 mile of the Project site. Additionally, based on a review of the City Planning Department's list of development activity in the City, there is one project within one-half mile of the Project site currently undergoing plan check engineer review and there are two projects within one mile of the Project site either undergoing plan check engineer review or pending construction (City of Fullerton 2023b). Cumulative project locations, types, and status are detailed in Table 1 below.

TABLE 1
DEVELOPMENT PROJECTS IN THE CITY OF FULLERTON

Name	Location	Distance from Project Site	Development Type	Status
Hub Fullerton	2601, 2701, and 2751 E Chapman Avenue	0.4 mile northeast	Student Oriented Housing	Undergoing Plan Check Engineer Review
Goodman Logistics	2001 E Orangethorpe Avenue	0.8 mile southwest	Industrial Development	Entitlements are Complete
Orangethorpe Avenue – State College to Placentia Avenue*	Orangethorpe Avenue – State College to Placentia Avenue	0.9 mile south	Infrastructure	Design Phase
Orangethorpe Avenue WMR – Acacia to State College*	Orangethorpe Avenue WMR – Acacia to State College	0.9 mile south	Infrastructure	Construction Phase
Rexford Via Burton Fullerton Project	1901 Via Burton	1 mile southwest	Industrial Development	Undergoing Plan Check Engineer Review

*Capital Improvement Project
Source: City of Fullerton

While four of the five projects listed above, are more than one-half mile from the site, the Hub Fullerton Project is less than one-half mile from the Project site. However, given that construction activities of the Project and the Hub Fullerton Project are not anticipated to occur concurrently and that the Project would result in nominal increase in vehicular trips long-term, the Project contribution to potential cumulative impacts would be less than significant.

Significant Effects (unusual circumstances)

> "(c) Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances."

The Project would not have a significant effect on the environment due to unusual circumstances, as demonstrated below. Neither the Project site, nor the proposed Project, has any features or characteristics that would distinguish it from other in-fill projects in an urban environment; therefore, there are no unusual circumstances. Also, the Project-related construction activities will occur within the construction staging area and not impact surrounding area.

Implementation of the proposed Project would involve demolition of the existing residential buildings and removal of ornamental vegetation. Construction-related excavation would not disturb existing utility infrastructure. The proposed Project would connect to existing sewer and water utilities while protecting all existing utility facilities. Additionally, replacement of old sewer lateral and water main and restoring paving to existing conditions will occur as conditions to the Project. The construction contractor would be required to take precaution to protect all existing facilities and utilities; would not perform any work that would interfere or damage existing service; and would provide all measures necessary to protect existing structures during construction (e.g., bracing, shoring) during all construction phases. Upon completion of construction, all disturbed pavement areas would be restored to pre-construction conditions. The potential impacts related to Section 15332, In-Fill Development (Class 32) Criteria, are discussed below:

- The Project would result in limited short-term construction-related air quality and GHG emissions related to construction activities. The types and numbers of construction equipment used during construction would be limited given the size of the Project site; therefore, construction activities are not expected to exceed regional or local significance thresholds established by the South Coast Air Quality Management District (SCAQMD) or any applicable draft GHG thresholds promulgated by the SCAQMD Working Group. The Project would not result in a wasteful or inefficient use of energy.

- The Project site is developed and surrounded by a mix of urban land uses and ornamental landscaping, which provide minimal foraging habitat for common animal species that are typically found in urban area. Thus, the Project site does not contain any habitat suitable for special status plant and animal species. Further, review of the U.S. Fish and Wildlife Service's (USFWS') Critical Habitat for Threatened and Endangered Species shows the nearest critical habitat is located approximately 1.16 miles to the northwest the Project site (USFWS 2023a). Various residential, commercial, and institutional land uses lie between the Project site and the nearest critical habitat; therefore, the Project would not have an impact on federally listed Threatened or Endangered plant or wildlife species, nor would it result in removal of any federally designated critical habitat. Review of the U.S Fish and Wildlife Service's National wetlands inventory indicates that there are no riparian habitat or wetlands located on the Project site, nor will any be affected by the Project (USFWS 2023b). The Project site is situated in a developed urban area and does not function as a wildlife corridor or native wildlife nursery site.

- As described previously, the Project site is in an urban area and developed with two single-story, single-family residential structures and one accessory structure. In the existing condition, shallow soils underlying the site are likely comprised of artificial fill, which may not contain cultural resources (i.e., archaeological, buried historical, paleontological, or tribal cultural). In light of the proposed subterranean garage, excavation may reach the depths not previously disturbed. However, the Project would be required to comply with Condition of Approval (COA) CR-1 and COA TCR-1 (State Health and Safety Code Section 7050.5) from The Fullerton Plan Program Environmental Impact Report (PEIR) to ensure no impacts to paleontological, archeological, or cultural resources would occur during excavation (City of Fullerton 2012).

    - **COA CR-1:** In the event that cultural resources (archaeological, historical, paleontological) resources are inadvertently unearthed during excavation and grading activities of any future development project, the contractor shall immediately cease all earth disturbing activities within a 100-foot radius of the area of discovery. If not already retained, the project proponent shall retain a qualified professional (i.e., archaeologist, historian, architect, paleontologist, Native American Tribal monitor), subject to approval by the City of Fullerton, to evaluate the significance of the finding and appropriate course of action. If avoidance of the resource(s) is not feasible, salvage operation requirements pursuant to Section 15064.5 of the CEQA Guidelines shall be followed. After the find has been appropriately avoided or mitigated, work in the area may resume.

    - **COA TCR-1:** If human remains are encountered during the conduct of ground-disturbing activities, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition of the materials pursuant to Public Resources Code Section 5097.98. The provisions of Section 15064.5 of the CEQA Guidelines shall also be followed. The County Coroner must be notified of the find immediately. If the remains are determined to be prehistoric,

the Coroner will notify the Native American Heritage Commission (NAHC). The NAHC will determine and notify a Most Likely Descendent (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The descendent must complete the inspection within 24 hours of notification by the NAHC. The MLD may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials. These requirements shall be included as notes on the contractor specification and verified by the Community Development Department, Building and Permits Division, prior to issuance of grading permits.

- A Limited Geotechnical Report was prepared by Terradyne in April 2021 and is included as Attachment A of this Memorandum. The State of California has established Earthquake Fault Zones for the purpose of mitigating the hazard of fault rupture by prohibiting the location of most human occupancy structures across the traces of active faults. The Project site is not included within an Earthquake Fault Zone as created by the Alquist-Priolo Earthquake Faulting Zone Act (DOC 2022). A review of published geologic literature and maps pertaining to the site vicinity indicates that there are no known or potentially active faults with the potential for surface rupture crossing or projecting towards the site. Additionally, faut rupture through the site is not anticipated. However, because of the high tectonic activity of the region and proximity of the Puente Hills Blind Thrust Fault system and other faults such as the Elsinore Fault system the potential for surface rupture cannot be precluded. It should be noted that the Southern California region is an area of moderate to high seismic risk and it is not considered feasible to render structures fully resistant to seismic related hazards. The Project would comply with the 2022 California Building Code (CBC) and use seismic parameters recommended in the Geotechnical Investigation (ICC 2022, Terradyne 2021).

- A Preliminary Hydrology Report was prepared by Plump Engineering, Inc. in February 2022 and is included as Attachment B of this Memorandum. The existing Project site is graded mostly flat, with the longest flow path being of approximately 280 feet at 0.8 percent slope from northwest to southeast of the property. Storm water discharges out of the existing Project site to the curb and gutter along State College Boulevard. The proposed development would grade the site to storm drains located throughout the site area. The drains would direct the water to the east of the site, facing State College Boulevard. The storm water will be treated by a Modular Wetlands System. Once the storm water is treated, the stormwater will discharge out of the property to the curb and gutter along State College Boulevard. The entrance ramp to the subterranean parking garage located at the northeast corner of the site will have its storm water collected by a trench drain located at the bottom of the ramp. The trench drain will place the water in detention vaults, which are designed to contain the 100-year, 24-hour storm event runoff of the ramp area. Storm water will be discharged from the detention vaults using pumps. The storm water will eventually make its way to the modular wetlands unit where it will be treated and discharged.

  During construction, the contractor would be required to implement erosion control measures to manage sediment and other potential pollutants that could affect water quality. Appropriate Best Management Practices (BMPs) for construction-related materials, wastes, spills, or residues would be implemented to minimize transport from the site to streets, drainage facilities, or adjoining property by wind, runoff, or tracking. The Project would comply with all local, State, and federal Stormwater Pollution Prevention laws and any requirements of the California Regional Water Quality Control Board, Santa Ana Region. Additionally, the Project would comply with all BMPs outlined in the Project's Water Quality Management Plan prepared by Plump Engineering, included as Attachment C of this memorandum.

- Construction of the Project would comply with the City's noise ordinance and be limited to the least noise-sensitive hours of the day per Fullerton Municipal Code Section 15.90.050. Although construction activity would be audible to some of the nearby residences, they would be temporary and occur during the least noise-sensitive parts of the day. Noise levels from construction equipment would also not involve pile drivers or other equipment that exceed the noise level limits established by the City under Fullerton Municipal Code Section 15.90.050. The noise generation would not be considered substantial or adverse.

- Based on the City Traffic Engineer, the Project would not exceed the City's adopted significance criteria for Vehicle Miles Traveled (VMT), and as such would not result in VMT impact. All nearby roads would remain open at all times during the construction, unless approved by the City engineer.

- A Sewer Assessment Report was prepared by Plump Engineering in February 2022 and is included as Attachment D of this Memorandum. The report concluded that the new multi-family development will increase the volume of sewer flows over the existing site condition. As such, the Sewer Assessment Report was submitted to the City's consultant, Woodward and Curran, for review and sewer model analysis. Based on the sewer model analysis, included as Appendix E, it was concluded that the City-owned sewer system has adequate capacity to accept flows from the proposed Project. Removal and disposal of demolition materials and other construction waste during construction would follow all applicable codes and requirements.

Scenic Highways

> "(d) Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR."

The Project would not result in damage to scenic resources, as none exists near or within the viewshed of the Project site. The nearest Eligible or Officially Designated State scenic highway is State Route (SR) 91, which is an Officially Designated State scenic highway and is located approximately 4 miles southeast of the Project site at its nearest point (Caltrans 2023a, Caltrans 2023b). Construction equipment would not be visible by motorists traveling on SR 91 due to the urban built environment surrounding the Project site; the topography of the land; and distance to the Project site. Likewise, the proposed development of 2-story residential structures would not be visible by motorists traveling on SR 91 due to intervening topography, surrounding urban environments, and distance to the Project site. Neither Project construction nor Project operation would create a significant impact pertaining to public views or scenic opportunities.

Hazardous Waste Site

> "(e) Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code."

The Project site is not located on a site that is included on a list of hazardous materials sites compiled, pursuant to Section 65962.5 of the *California Government Code* (i.e., Cortese List) (DTSC 2023).

Historical Resources

> "(f) Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource."

Based on review of the *City of Fullerton Local Register of Historical Resources*, the Project site is not identified as a listed or eligible historic resource (City of Fullerton 2021).

R:\Projects\FUL\3FUL020103 - State College\Environmental Documentation\Memorandum\Final\Final Substantial Evidence Memorandum_033123.docx

REFERENCE

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RESOLUTION NO. ZA-2023-02

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF FULLERTON, CALIFORNIA APPROVING A MINOR SITE PLAN TO REDEVELOP A 0.71-ACRE SITE WITH 25 RESIDENTIAL TOWNHOMES OF WHICH 15 PERCENT OF THE UNITS WILL BE DEED-RESTRICTED FOR VERY-LOW-INCOME HOUSEHOLDS ON PROPERTY ZONED R-G, LOCATED AT 245 NORTH STATE COLLEGE BOULEVARD

ZON-2021-0041

APPLICANT: KARA BLOCK
PROPERTY OWNER: GEOTECH DEVELOPMENT CORPORATION

RECITALS

1. WHEREAS, an application was filed for a Minor Site Plan to redevelop a 0.71 acre site with 25 townhome units over subterranean garage parking on a property more specifically described as:

   Orange County Assessor's Parcel No. 269-064-08

2. WHEREAS, a notice of a Zoning Administrator hearing was sent to property owners located adjacent to the project site in accordance with Fullerton Municipal Code §15.76.040.B and that no objection to the proposal was raised; and

3. WHEREAS, FMC Section 15.47.040 authorizes the Zoning Administrator to act on a Minor Site Plan; and

4. WHEREAS, in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15332, the project qualifies for a Class 32 - In-Fill Development Projects, Project Exemption.

RESOLUTION

Now therefore, be it found, determined and resolved by the Zoning Administrator of the City of Fullerton, as follows:

1. In all respects as set forth in all Recitals in the Resolution.

2. The Zoning Administrator, pursuant to FMC Section 15.47.040.B.1 finds as follows:

   Finding: The use is permitted in the zoning classification.

   Fact: The proposed Project involves construction of 25 two-story townhomes, over one level of subterranean garage parking. Multi-family dwelling is a permitted use in the R-G zone, pursuant to Fullerton Municipal Code table 15.17.020.A.

   Finding: The project meets all applicable development standards.

Fact: Staff has reviewed the project and determined it conforms to the development standards contained in Title 15 of the Fullerton Municipal Code for R-G-zoned properties.

Finding: The project meets the design criteria as specified in Section 15.47.060, as applicable.

Finding: The proposed project creates a development that is pleasant in character, harmonious with past development of Fullerton and illustrates design compatibility with the desired developing character of the surrounding area.

Fact: The project has been designed to blend well with other commercial and residential development in the immediate area. The various materials, architectural elements and proposed colors serve to enhance the building elevations and create a cohesive architectural style. The building orientation and articulation would reduce massing and create a streetscape of interest along State College Boulevard.

Finding: The proposed project includes designing and/or screening all rooftop mechanical and electrical equipment as an integral part of the building design.

Fact: Mechanical air conditioning condensers would be installed within the private patios of each unit. Condenser units located on private roof top decks would be screen from public view by building parapets that are an integral part of the building design.

Finding: The project screens exterior trash, storage areas and service yards from view of nearby streets.

Fact: Trash containers will be kept in a trash room inside the subterranean parking garage and will not be visible from the public-right-of-way.

Finding: Designing landscaping to create a pleasing appearance from both within and off the site.

Fact: The proposed building frontage would utilize landscaping to provide visual interest for pedestrians and paved walkways for pedestrian access from the public State College Boulevard.

Fact: The proposed project would provide common space, which would include landscaping throughout, an open deck on the second level above the garage entry, and an open terrace at the rear of the property between the buildings. Both areas would include outdoor seating with built-in barbeque areas. Each unit is also provided with private open space in the form of a terrace. In addition to a terrace, 8 units include private roof decks. Landscaping would include trees, shrubs, and ground cover including along the frontage of State College Boulevard. Tree species would include Olive (fruiting & fruitless varieties), Dragon tree, Bay Laurel, Fern Pine, African Sumac, Water Gum, and Hybrid Strawberry Tree.

Finding: The project creates traffic patterns that minimize impacts on surrounding properties and streets and accommodate emergency vehicles.

Fact: The proposed project includes the construction of a subterranean parking garage which would consist of all onsite parking and will be accessed from State College Boulevard. The parking garage has been designed to accommodate the height of typical delivery and moving trucks so that all unloading, and deliveries occur onsite.

Finding: The proposed project ensures that landscaping accommodates adequate sight distances for motorists and pedestrians entering and exiting the site and does not interfere with circulation effectiveness.

Fact: The landscaping along the proposed driveway has been designed to account for vision clearances.

3. The Zoning Administrator does hereby APPROVE said Minor Site Plan ZON-2021-0041 subject to the following conditions of approval:

   a. The action of the Zoning Administrator approves the submitted plans identified as Attachment 1 and as conditioned herein. The term "approved Minor Site Plan" pertains to the plans in Attachment 1 and as conditioned herein.

   b. Upon submitting plans for building plan check, a revised site plan which demonstrates that the floor area of the (3) ground patios along the project frontage are at least 100 square feet in size shall be submitted.

   c. The project shall comply with applicable conditions of approval contained in the Substantial Evidence for Notice of Exemption Memorandum, included as attachment 2.

   d. The applicant shall submit a Parking Management Plan to the Planning division for review and approval prior to issuance of final Certificate of Occupancy. The plan shall include, but not be limited to, the assignment of parking spaces, guest parking practices

   e. Prior to building permit issuance, and pursuant to FMC §15.50.030, a Landscape Documentation Package shall be submitted to the City for review and approval. The Landscape Documentation Package includes, but is not limited to, certified landscape and irrigation design plans. The Landscape and Documentation Package requires a separate plan check submittal and fee.

   f. The approval of Minor Site Plan ZON-2021-0041 becomes null and void if not exercised within 12-months from the date of approval. Prior to the date of expiration of the approved Minor Site Plan, the expiration date may be extended by the Zoning Administrator for a period or periods not exceeding 12-months, for a total of no more than 24 months.

   g. In the event the business operations generate more trash than the existing trash enclosure can contain, the property owner shall be responsible for disposal of the additional trash through modifications in the number days per week of trash pickups. Trash shall not be kept outside of the trash enclosure at any time.

   h. Applicant/Property Owner is responsible for ensuring that information contained in construction plan drawings is consistent among architectural, structural, grading,

electrical, mechanical, plumbing, fire, utility, and public improvement plans as well as other construction drawings. This responsibility may be transferred by the Applicant/Property Owner to the Project Architect. While the City aims to correct inconsistencies, they are the ultimate responsibility of the Applicant/Property Owner/Project Architect to remedy, up to and including completing construction revisions prior to receiving final occupancy approvals.

i. The applicant shall agree to indemnify, hold harmless, and defend the City of Fullerton, its officers, agents and employees, from any and all liability or claims that may be brought against the City arising out of its approval of the project.

j. The project shall be in substantial conformance with the plans provided by the applicant except to the extent that the plans or designs are modified by the City of Fullerton Zoning Administrator or conditions herein.

k. Construction plans shall be submitted to the Community and Economic Development Department for review and issuance of any future building permit(s). Construction plans shall comply with Fullerton Building Codes, as adopted and in effect at time of plan submittal.

l. All corrections generated during the plan check and inspection process shall be incorporated as conditions of approval by reference. Plans shall clearly show that the project complies with applicable Building Codes prior to issuance of building permits. Any site plan revisions necessary to comply with Building Code revisions may be considered for approval by the Director of Community and Economic Development.

m. All construction and general maintenance activities that are anticipated to exceed the noise standards set forth in FMC §15.90 shall be limited to the hours of 7 a.m. to 8 p.m. Monday through Saturday, except in the case of an emergency. Noise associated with construction, repair, remodeling or grading of any real property must comply with the standards set forth in FMC §15.90 between 8 p.m. and 7 a.m. Monday through Saturday and at any time on Sunday or City-recognized holidays. All on-site construction equipment shall have properly operating mufflers and applicant should utilize the quietest equipment available.

Public Works

Project Specific:

n. The project shall record an irrevocable offer of dedication of 10 feet of additional right of way to the City (dedication for public street and utility purposes) along the property frontage on State College Blvd prior to issuance of Temporary Occupancy Certificate. All proposed on-site improvements associated with the development shall be constructed to the ultimate street right of way alignment and shall not encroach into the area offered for dedication except flat hardscape work and landscaping improvements. While this future dedication is consistent with the ultimate street width per the City's General Plan, the City shall be under no obligation to accept the offer at any time, and the decision to accept the offer shall be at the sole discretion of the City.

o. Mailboxes shall be removed from sidewalk and replaced with onsite mail collection box.

p. Existing trees along the project frontage shall be removed and replaced with full width concrete sidewalk per City standards. New trees shall be planted onsite behind the sidewalk along the property's frontage.

q. Asphalt Concrete (AC) on State College Blvd. was recently reconstructed over the entire street width; therefore, all construction operations that produce damage to the existing AC pavement (i.e., saw cutting, trenching, potholing, sandblasting, etc.) will be subject to moratorium standards for pavement replacement, City Standard No. 130.

r. Existing sidewalk along the project frontage shall be removed and reconstructed with the new full width concrete sidewalk per City Standard No. 122.

s. Damaged curb and gutter along the project frontage shall be reconstructed with new curb and gutter per City Standard No. 120.

t. Existing driveway approach(s) that will not be utilized by the proposed development shall be removed and replaced with full width concrete sidewalk and full height curb and gutter.

u. New driveway approach(s) shall be constructed per City Standard No.121, Commercial Driveway.

v. All on-site water services exclusively serving the proposed development shall be privately owned and maintained.

w. The project shall install one master meter above-ground assembly for 3" and larger for domestic service with backflow, one master meter for irrigation with backflow, one master meter with DCDA for fire service, and a new public fire hydrant to meet City standard requirement of a public fire hydrant to be within 50' of the FDC. Above-ground assemblies shall be installed behind property line. If method of concealment is used, it shall not obscure the Fire Department's pumper connection, OS&Y rising stems, hinder access to the connection, or obscure the testing of the device.

x. Existing water services not utilized shall be abandoned at the main. Existing water meter in the proposed driveway shall be abandoned.

y. Prior to issuance of building permits, the Developer shall submit a Water Improvement Plan prepared by a California Registered Civil Engineer. The system shall be designed in conformance with City of Fullerton Water Utility Specifications and Fire Department requirements and shall be subject to approval by the City Engineer and accepted by the Public Works Director.

z. The developer shall provide water calculations to properly size the new meters. All proposed and existing hydrants must meet Fire Department minimum required flow. (City of Fullerton's Water Rates, Rules, and Regulations, rule 15.A and 15.B). Any fire hydrants required on site shall be private.

General:

aa. All work in the public right of way shall be constructed in accordance with the Standard Plans and Standard Specifications for Public Works Construction, latest edition. This includes supplements thereto and City of Fullerton Standard Drawings.

bb. Before undertaking any grading or construction work of any type within the public right of way, the owner must first obtain the applicable permits from the Public Works Department.

cc. All work within public right of way requires a separate public works permit.

dd. During site improvement, all deliveries to the project site that are overweight, or oversize will require a transportation permit from the Public Works Department.

ee. The project shall utilize the City's benchmarks. A list of the City's benchmarks is available on the City of Fullerton website.

ff. The developer shall provide and maintain all necessary flag persons, barricades, delineators, signs, flashers, and any other safety equipment as set forth in the latest publication of the State of California, Manual of Traffic Control, or as required by the Public Works Department permit requirements to ensure safe passage of pedestrian and vehicular traffic.

gg. Street trenches required for the installation of utility connections shall comply with City of Fullerton Standard No. 312 and 313.

hh. Any controlling survey monumentation (property lines, tract lines, street centerline, etc.) which are at risk of being destroyed or disturbed during the course of this project must be preserved in accordance with Section 8771(b) of the California Business and Professions Code (Professional Land Surveyors Act). Pre-construction field ties, along with the preparation and filing of the required Corner Records or Record of Survey with the County of Orange, shall be accomplished by, or under the direction of, a licensed surveyor or civil engineer authorized to practice land surveying. Copies of said records shall be furnished to the City Engineer for review and approval prior to issuance of any onsite or offsite construction permits. Any monuments disturbed or destroyed by this project must be reset and post-construction Corner Records or Record of Survey filed with the County of Orange. A copy of the recorded documents shall be submitted to the City Engineer for review and approval prior to issuance of any permits within the public right of way.

ii. Prior to issuance of building permits, all public improvements (if any) shall be guaranteed to be installed by the execution of an Agreement for Public Improvements secured by sufficient bonds or sureties for both Faithful Performance and Labor and Materials, in a form approved by the City Attorney.

jj. Public Works Department expenses, including consultant review of WQMP and Grading Plan, project management, plan check, inspection, will be charged against the reimbursable account created for the project. The initial $5,000 shall be deposited with the Public Works Department concurrently with the project application. If the amount deposited is insufficient to complete the project review and inspection process,

additional deposit(s) will be required as necessary to finalize the project. Any unspent funds will be returned to the applicant after final acceptance of the project.

kk. All the public improvements, studies, designs, plans, calculations, and other requirements shall be installed, provided, and supplied by the developer in accordance with City and State codes, policies, and requirements at no cost to the City. All work shall comply with City standards and specifications and with the City of Fullerton Municipal Codes.

ll. Proposed sewer laterals shall be minimum 6" V.C.P. per City Std. 209A and 209B. All existing lateral connections to be utilized for the development shall be video inspected to determine their condition. Video shall be submitted to the Public Works/Maintenance for review. If determined that the existing connection(s) are in poor condition, they shall be replaced with new lateral connections per standard plans.

mm. Existing public and private easements shall not be affected by the proposed development. Any modification to an existing public and/or private easement shall be coordinated and approved by applicable easement owners.

nn. All facilities crossing lot lines shall be located in private easements.

oo. According to FMC Section 16.05.060, all proposed utilities that provide direct service to the subject property, including electric and all telecommunication systems, shall be installed underground; all existing facilities providing direct service to the development shall be undergrounded.

pp. Site development shall not result in the increase of storm water run-off and flow intensity to the adjacent properties nor obstruct storm water flow into the site. The size and alignment of on-site drainage facilities shall be based upon detailed hydrology and hydraulic calculations prepared by a California Registered Engineer and shall be approved by the City Engineer.

qq. A Final Grading plan shall be reviewed and approved prior to issuance of grading permit.

rr. Site grading shall adhere to the approved grading plan and shall be completed prior to issuance of temporary occupancy.

ss. An As-Built Grading Plan, signed and stamped by the Engineer of Record and the Geotechnical Engineer, shall be submitted to Public Works Department prior to finalizing and closing the grading permit. Any deviations from the approved grading plan will require a submittal of grading plan revision for the City Engineer's review and approval.

tt. In addition to all retaining walls, any above-ground construction, regardless of its height, that may alter the existing storm water flow pattern shall be shown on the grading plan.

Project Specific:

ADOPTED BY THE FULLERTON ZONING ADMINISTRATOR ON APRIL 6, 2023.

Sunayana Thomas
Zoning Administrator

Attachment 1 – Plans
Attachment 2 – Substantial Evidence Notice of Exemption Memorandum

Felix Joseph Metoyer III
209 Concord Ave.
Fullerton CA, 92831

April 5, 2023

City of Fullerton
303 W. Commonwealth Ave.
Fullerton, CA 92832
Attn: Zoning Administrator
Attn: City Council
Attn: Edgardo Caldera (Community and Economic Development Department)

Re: Request for Minor Site Plan Review (ZON-2021-0041) / 245 N. State College Blvd.

Dear Mr. Caldera,

Let me begin by stating, without equivocation, that approval of a 25-unit multifamily development at the subject location would be disastrous for the surrounding area, and a big failure on the part of the city to uphold reasonable foresight, and good planning practices. Having said this, let me also state, that I am not intrinsically opposed to the concept of development as a means of reviving communities, parcels or repurposing land. Thoughtfully pursued it can be an asset; however, irresponsibly pursued it can create many problems.

My initial and general concerns at this time are noted below. I strongly urge you, the Zoning Administrator, and the City of Fullerton as a whole to take the necessary steps to require every bit of due diligence possible, and to scrutinize every detail during the consideration of this development as currently proposed, in order to avoid a poorly functioning future site. This development should move forward at low or medium density. Most of the concerns around this proposed development, and corresponding application for Minor Site Plan review can be resolved by reducing density.

1. Firstly, CEQA (class 32) exemption is reserved for infill projects that: are on sites of less than 5 acres within city limits surrounded by urban uses. This class of projects is characterized as in-fill development meeting the following conditions:

    a. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (The proposed project at 245 N. State College is not consistent with the general plan)

    b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

    c. The project site has no value as habitat for endangered, rare or threatened species. (Please provide documentation that indicates the subject property is of no value as habitat for endangered, rare or threatened species or any evidence that this has been considered before the application for Minor Site Plan Review decision)

    i. There are 181 animal Taxa (species and subspecies) listed by the State of California, Natural Resources Agency, Department of Fish and Wildlife, Biogeographic Data Branch California Natural Diversity Data Base (CNDDB) as being of various classified status, some endangered, some threatened. This report is dated January 2023. Has this been considered? Have any of the

surrounding areas been evaluated for the presence of these animals? Has a biologist or representative of the Department of Fish and Wildlife been contacted or consulted?

d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (Please provide traffic study, air and water quality studies that were conducted resulting in confirmation of no significant effects.)

e. The site can be adequately served by all required utilities and public services. (Please provide the detailed plan for how all utilities and public services, especially trash services will be addressed). The need for trash pickup has not been sufficiently thought through, or evidence of such acceptable plan provided.

Please see current condition at nearby 2000 E. Wilshire apartments. This is the type of condition / look that cannot be allowed at a major street such as State College. Thus far the question of logistics and access has not been sufficient provided that would indicate an operational plan has been developed for how the 245 development will handle this. Despite the best of intentions and planning, operations / operators of this type of development can vary widely. Please provide sufficient evidence of the plan for trash service at the site so bins of refuse can be placed out of view and away from other residences to avoid wafting smells.

2. Density - The General Plan indicates that this parcel is to be low to medium density for a reason. Anything more than this doesn't make sense for those who live nearby, and will be met with opposition from the surrounding community. Anything more than this is for the benefit of the development company only, and does not consider those already living in and paying taxes in the area.

    a. Both Revere and Concord Ave. continue to have parking issues with patrons of Mr. BBQ, BIGS, and CSUF students parking on the streets. My aging parent have had to walk a significant

distance down the street to visit my home due to this problem, and the concern of how this new development will make the situation worst needs to be discussed and addressed. It cannot be assumed that a limited number of vehicles will be associated with each unit.

i. How will parking be handled?
ii. Will hand tags be issued?
iii. Will a vehicle registration form be required of all applicants / residents?
iv. Improper density will result in parking issues and complaints
v. How will crowded streets be addressed during days of street sweeping? This will be a problem.

b. A 25-unit development will need to be vetted for a host of issues caused by 9 – 11ft setbacks. Again, the proposed density for this location is too aggressive.

i. View into the adjacent properties
ii. Privacy concerns, lawsuits
iii. Noise concerns
iv. Smoking legalities
v. Safety
vi. Security
vii. Fire Life Safety and emergency vehicle access
viii. Fire Fighting plan – What are the proposed plans for fighting fires at the rear of the new development. Will the existing homes on Concord Ave. be less accessible for fighting fires at the rear of their properties now that fire fighting equipment will be blocked from accessing the 245 N. State college site in the same manner as is possible currently?
ix. Ingress / egress- increased likelihood of traffic accidents or pedestrian accidents
x. Electromagnetic radiation concerns from very high-density development and corresponding high-density internet router locations, due to reduced setbacks. Having many units so close to existing residents can expose them to heightened levels beyond daily recommended allowances. This should be studied.
xi. Traffic Control and mitigation
xii. Root intrusion – The current plans show various trees and plantings very close to nearby existing neighbors' property. With the reduced setbacks it is feasible to think that root intrusion will become a problem for adjacent properties and homeowners. Damages caused will of course be the responsibility of the Owner to remedy, however the city will also be held responsible if allowing the development to continue at this inflated density / reduced setback.

3. Design- The design of the new development should be studied in the rear of the property, especially at the proposed setbacks. Have studies been done to evaluate the views via elevations specifically from the angles and areas shown in the photos below? This should be evaluated.

To reiterate, there should be no fast tracking of any kind with this type of proposed development. It is grossly over and above the intended density in the General Plan, and what makes logical sense for the site, and encroaches on the privacy of those adjacent to it as currently designed. There is nothing wrong with developing

the subject site, in fact I encourage it, however it must be done at densities that make sense for those affected not just make sense for those standing to profit from it.

I trust that those elected to our City Council will agree with my sentiments, and be in support of the development, but under more reasonable terms. Until then, I also trust that any application for the fast tracking of this project of any kind without the typical and appropriate diligence that has been applied to other recent developments in the city i.e. industrial, multifamily, etc. be denied.

Other projects have had to submit water quality testing,

Regards,

Felix Metoyer
CC: City Council

David and Tracy Sanchez
213 Concord Ave.
Fullerton, CA 92831

April 6, 2023

City of Fullerton
303 W. Commonwealth Ave.
Fullerton, CA 92832
Attn: Zoning Administrator
Attn: City Council

Re: Request for Minor Site Plan Review (ZON-2021-0041) / 245 N. State College Blvd.

Dear Ms. Thomas,

We are property owners and residents in the neighborhood adjacent to the proposed development. Due to the concerns listed below, we are requesting that the Zoning Administrator reconsider allowing this project to be granted the CEQA exemption. The developer is taking all allowable opportunities to build as many units as he is permitted, in the name of providing low-income housing. However, he has made it clear in my personal conversation with him that his main priority is profit. He claims to care about our city, but offered little empathy for the impacts that his development would have on our peaceful neighborhood. Through subtle threats in our conversation and bemoaning how long this process has taken due to the city's employees, Mr. Kapogianis has shown his true colors. The city has a duty to ALL of their residents, land owners, and tax payers, to ensure that ALL of our rights are protected. Granting this CEQA exemption would allow this project to continue without investigating the full impact of this project on the environment and the community, therefore, we are urging the Zoning Administrator to reconsider.

The Draft Resolution No. ZA-2023-02, Recital 2. states that the Zoning Administrator notified owners of adjacent properties and that no objection to the proposal was raised.

On the contrary, please see below listed concerns:

Density

I have researched the city zoning regulations and the California legislation that "ties the hands of the city" in regards to allowing high-density housing in areas not otherwise zoned for it. We are requesting that this project not be exempt from CEQA in order for the city to exercise their due diligence to properly investigate the potential significant effects relating to traffic, noise, air quality or water quality, in an area that was not zoned for or meant to be developed at the densities of the proposed project.

Building Height/Setbacks

Project incentives allow a 2-story building (with windows) to be built 9 feet from the property line of a residence that otherwise would have not been allowed by Fullerton's Municipal Code. The increase in building height, coupled with the reduction in setbacks will undoubtedly result in loss of *privacy* and *property value* for the homeowners of the adjacent properties.

Parking

Although the proposed project is providing more parking spaces than required by California legislation and density bonuses, it is still providing less than the amount deemed necessary by Fullerton Municipal Code. This high-density housing parking bonus will likely result in a lack of on-site parking for residents, who will be forced to park in the neighborhood behind the project or across State College. If a pedestrian parking across the street is hit by a car while jaywalking across State College, will the city be held liable if they approved this project knowing it did not provide enough parking and without doing its due diligence of a complete traffic study? Additionally, will the city begin to consistently enforce the overnight parking ban in our neighborhood? Will code enforcement crack down on people parking on their lawns when daytime street parking is reduced due to the proximity of this high-density housing project?

Cumulative Impacts

The City notes that the current project of the Hub Fullerton is less than one-half mile from this project but that construction activities will not be occurring concurrently. If the Project Hub is anticipated to open in 2024, does that mean this project is not going to begin construction until after the Hub is complete? Has the Hub project experienced construction delays due to rain that would affect the timeline for completion and cause these projects to be occurring simultaneously?

Significant Effects (Unusual Circumstances)

The report notes that this project would not have any effects on the environment. This project proposes construction of an underground parking structure. This property is also located within a flood zone. Have any other city infill projects been consistent with those circumstances? Additionally, according to the Preliminary Water Quality Management Plan, this project replaces a lot that was previously 8% impervious surface with 98% impervious surfaces. In addition to the water entering the underground parking structure, will the current infrastructure support the increase in runoff from a 90% increase of impervious surfaces? When surfaces slope away from the buildings on this property, but towards the adjacent properties, will the decrease in setback affect drainage?

Traffic

This high-density housing project driveway is connected to one of Fullerton's busiest roadways. By the cities own Hub Fullerton Transportation Impact Assessment, the intersection at Chapman and State College is already operating at levels that are considered unacceptable, with opening year projections in 2024 showing the intersections operating at even worse Levels of Service. Additionally, the projected opening of the EOS Fitness gym across the street will undoubtedly bring more traffic entering and exiting State College in close proximity to this project. According to the Hub Fullerton Traffic Impact Assessment, a traffic volumes study in this area was not conducted for the Hub project. Due to the many ongoing projects in the vicinity that will affect traffic volumes, I am requesting that the city conduct an updated traffic volumes study before approving this project.

An additional traffic concern is the ability of residents in our neighborhood to make a left turn from Revere to State College. As a parent who will have teenage drivers by the time the proposed project is completed, I worry that the additional traffic from these development projects will make it unsafe to exit our neighborhood. An updated traffic study should be conducted to protect our residents from unsafe conditions and protect the city from liability should accidents occur.

This project will also undoubtedly bring more through traffic in our neighborhood, with people often using Wilshire Avenue as an alternative to Commonwealth or Chapman. Recently, at our request, the city installed a stop sign at Revere and Concord in an attempt to slow down traffic. People still speed through this area, including through the congested area in front of Ladera Vista Junior High where many children are often present. Many people also use Wilshire Avenue as a late-night cut through to stay off the main roads after a night of drinking downtown. The property at 218 Concord has had drunk drivers miss the turn and drive into her front yard multiple times. The proposed development will increase the already unsafe traffic through our neighborhood. How will the city address this growing problem?

Trash

The dumpsters located in the parking structure will need to be brought out in order to be emptied. Where will this take place? When asked directly, the developer stated that the dumpsters would be placed in the driveway while waiting for the trash truck to come empty them. Does this mean that the trash truck will be blocking the driveway? Will incoming traffic be backed up onto State College while waiting for the trash to be emptied? Will the trash truck have room to turn around in the driveway, or will it have to back up, across a heavily used pedestrian sidewalk, and into oncoming traffic on State College?

Delivery Vehicles

The parking structure was constructed in a way that accommodates large delivery vehicles (Amazon, Fed Ex, UPS). Practically speaking, delivery drivers usually park wherever they can make the quickest delivery, often stopping in the middle of the road in residential areas to save time. The quickest way for a delivery to be made in the proposed development would be for the driver to stop in the driveway and then back out onto State College. As an area with a high level of pedestrian traffic (including my own family at times), this is a concern. How will the developer ensure that delivery vehicles do not stop in the driveway to make deliveries?

One additional concern I have is that the scope of this project seems to far exceed other projects being considered for Minor Site Plan Review. Upon searching through the Zoning Administrator documents available on the city website from 2021 and 2022, Minor Site Plans include projects like adding an ADU in a single family home, updating building facades, and adding a front porch to an existing residence. The most extensive project I could find involved demoing an existing restaurant and rebuilding a similar sized restaurant in the same location. Most of these Minor Site Plan Reviews contain between 2 and 20 pages of documentation. The proposed development contains over 350 pages of supporting documentation. I could not find a similar project, or one that came even close, being considered for a Minor Site Plan review. A project of this scope should not be exempt from CEQA and bypass the process of Major Site Plan Review. This project needs to go to the Planning Commission for a more thorough review.

Our family has lived in this neighborhood for almost a decade. We have developed a deep love for our neighborhood, our community and our city. Our children are growing up here and attending schools here and playing sports here. We serve our community through local non-profit organizations. We will be here long beyond the developers that come and go. We are asking that the City take note of us. We don't have investors or lawyers to protect us, so we need our City to fight for what is in the best interest of our entire community, and not simply the owner of one lot. In the end, this property may end up being developed exactly as it is proposed today, but we need to know that our city went through the proper process before that happens.

Thank you.

David and Tracy Sanchez

MEMORANDUM

To: Chris Schaefer, AICP, Planning Manager, City of Fullerton

From: Alia Hokuki, AICP, Senior Project Manager, Psomas

Date: May 10, 2023

Subject: 245 State College Boulevard Project

This Memorandum is to identify the appeal comments and associated responses related to the proposed 245 State College Boulevard Project, in the City of Fullerton (City). The Project was approved on April 6, 2023, and a Notice of Exemption (NOE) was filed with the Orange County Clerk Recorder, on April 12, 2023. In the meantime, the City received two appeal letters on the proposed development. The letters are identified below, and the responses to issues raised in the comment letters are also provided.

Appeal Letter 1

April 5, 2023

RE: Request for Minor Site Plan Review (ZON-2021-0041)/245 N. State College Boulevard

1. Exemption (Class 32)

The commentor identifies that Class 32, In-fill Development Projects, must be consistent with all applicable General Plan policies as well as with applicable Zoning designation and regulations. Further, the commentor claims that the proposed Project at 245 N. State College is not consistent with the City's General Plan.

Primarily, the commentor states that the Project is inconsistent with the City's General Plan, while a Class 32 In-fill exemption requires project consistency with all applicable General Plan designations and all applicable General Plan policies as well as applicable Zoning designations and regulations.

Project specific density bonus incentives include: an increase in height, a reduction in open space, and a reduction in required setbacks. It should be noted that the courts have determined that development standards waived under density bonus law are not applicable to the Project for two reasons: 1) the density bonus law authorized the waiver and 2) the City's code (15.17.120) requires the City to grant density bonuses upon a proper application. (Wollmer v City of Berkley 2011).

As such and as discussed in greater detail below, the Project would be consistent with applicable General Plan designations and all applicable General Plan policies as well as applicable zoning designation and regulations:

Land Use: The City's General Plan, The Fullerton Plan, allows for the development of a variety of residential land uses within R-G designation, including but not limited to Single Family, Two Family, and Multi-family housing (City of Fullerton 2012). The Project proposes development of multi-family housing, consistent with this designation.

Density: The Fullerton Plan specifies a maximum density of 15.1 dwelling units (du)/acre for developments within R-G Zones; without a density bonus, the Project would be allowed to develop 19 units with subterranean parking. However, the Project proposes to utilize a density bonus, dedicating three units to very low-income households. Therefore, the density bonus, a 35 percent density increase, allows for the development of up to 26 units. The Project currently proposes development of 25 units, consistent with the allowable density for the Project site.

Lot Coverage: The R-G Zoning allows for 60 percent maximum lot coverage. The Project with a total square footage of 17,527 within the 30,947-square-foot site represents a 56.6 percent coverage of the Project site. This is consistent with the maximum allowable lot coverage identified in The Fullerton Plan.

Open Space: The Fullerton Plan requires projects to provide 800 square feet (sf) of open space for each 2-bedroom unit and 1,000 sf for each 3-bedroom unit; as proposed, this would require a total of 22,400 sf of open space for the Project. However, as part of the density bonus, the Project has requested a reduction of 29 percent in open space requirements (i.e., 6,496 sf) resulting in a requirement of 15,904 sf. As proposed, the Project would provide a total of 15,930 sf of open space, which would be consistent with the open space requirements specific to the proposed Project.

Height: The maximum allowable building height for R-G Zoned developments is 20 ft/1 story if within 50 ft of R-1 property. While the Project site is within 50 ft of a single-family residential (R-1) property, the Project's density bonus includes an incentive allowing for maximum building height of 2 stories or 40 ft. The Project proposes 25 two-story residential units, consistent with the allowable height specific to the proposed Project.

Parking: The City's parking requirements for projects within R-G Zones of the City are 1.75 garage spaces plus 0.75 space open guest parking for a 2-bedroom unit and 2 garage spaces plus 1 space open guest parking for units with 3 or more bedrooms. However, as part of the Project's density bonus, Project's specific parking requirements are reduced and are as follows:

- 2 Spaces Per 2- or 3-Bedroom Units: 22 units x 2 spaces = 44 Spaces
- 0.5 Space Per Very Low-Income Unit: 3 units x 0.5 space = 1.5 Spaces
- Total Spaces Required per Density Bonus: 46 Spaces

However, the proposed Project will provide a total of 56 assigned parking spaces and 6 guest parking spaces, exceeding the parking requirements applicable to the Project.

The commentor raises no issue with condition 'b' of the Class 32 exemption, which states that the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. No further discussion is required.

The commentor requests that documentation indicating that the subject property is of no value as habitat for endangered, rare, or threatened species be provided.

The Project site is disturbed, developed, and surrounded by a mix of urban land uses and ornamental landscaping, which provide minimal foraging habitat for common animal species that are typically found in urban area. Thus, the Project site does not contain any habitat suitable for special status plant and animal species.

Further, it should be noted that the City is aware of the 181 animal taxa and their classified status, listed by various agencies. Review of the U.S. Fish and Wildlife Service's (USFWS') Critical Habitat for Threatened and Endangered Species shows the nearest critical habitat is located approximately 1.16 miles to the northwest the Project site (USFWS 2023a). Various residential, commercial, and institutional land uses lie between the Project site and the nearest critical habitat; therefore, the Project would not have an impact on federally listed Threatened or Endangered plant or wildlife species, nor would it result in removal of any federally designated critical habitat. Additionally, review of the U.S Fish and Wildlife Service's National wetlands inventory indicates that there are no riparian habitat or wetlands located on the Project site, nor will any be affected by the Project (USFWS 2023b). The Project site is situated in a developed urban area and does not function as a wildlife corridor or native wildlife nursery site. In light of the existing condition of the site and the above discussion, no consultation with a biologist or representative of the California Department of Fish and Wildlife (CDFW) is required.

The commentor requests that a traffic study, air quality study, and water quality study be provided.

Traffic: Based on Project review by the City Traffic Engineer, the Project would not exceed the City's adopted significance criteria for Vehicle Miles Traveled (VMT), and as such would not result in VMT impacts. All nearby roads would remain open during construction, unless approved by the City engineer. As such, it was determined that no traffic study is required for the Project.

Air Quality: The Project would result in limited short-term construction-related air quality and greenhouse gas (GHG) emissions related to construction activities. The types and numbers of construction equipment used during construction would be limited given the size of the Project site; therefore, construction activities are not expected to exceed regional or local significance thresholds established by the South Coast Air Quality Management District (SCAQMD) or any applicable draft GHG thresholds promulgated by the SCAQMD Working Group. Furthermore, the Project would be required to comply with SCAQMD Rules 401, 402, and 403, regulating visible emissions, public nuisances, and fugitive dust respectively. As such, no air quality study is required for the Project.

Water Quality: The Project's Preliminary Water Quality Management Plan (WQMP) is included as an appendix to the Substantial Evidence Memorandum. Currently, storm water discharges out of the existing Project site to the curb and gutter along State College Boulevard. The proposed development would grade the site to storm drains located throughout the site area. The drains would direct the water to the east of the site, facing State College Boulevard. The storm water will be treated by a Modular Wetlands System. Once the storm water is treated, the stormwater will discharge out of the property to the curb and gutter along State College Boulevard. Additionally, the entrance ramp to the

subterranean parking garage located at the northeast corner of the site will have its storm water collected by a trench drain, which will place the water in detention vaults, designed to contain the 100-year, 24-hour storm event runoff of the ramp area. Storm water will be discharged from the detention vaults using pumps. The storm water will make its way to the modular wetlands unit where it will be treated and discharged. With the system in place and storm water being treated prior to being discharged, water quality would not be affected downstream.

During construction, the contractor would be required to implement erosion control measures to manage sediment and other potential pollutants that could affect water quality. Appropriate Best Management Practices (BMPs) for construction-related materials, wastes, spills, or residues would be implemented to minimize transport from the site to streets, drainage facilities, or adjoining property by wind, runoff, or tracking. The Project would comply with all local, State, and federal Stormwater Pollution Prevention laws and any requirements of the California Regional Water Quality Control Board, Santa Ana Region. Also, the Project would comply with all BMPs outlined in the Project's WQMP, prepared by Plump Engineering. Additionally, the Project was approved pursuant to a list of COAs, including the following condition pertaining to water quality:

- Prior to issuance of building permits, the Developer shall submit a Water Improvement Plan prepared by a California Registered Civil Engineer. The system shall be designed in conformance with the City of Fullerton Water Utility Specifications and Fire Department requirements and shall be subject to approval by the City Engineer and accepted by the Public Works Director.

The commentor requests a detailed plan for how all utilities and public services, specifically trash collection, will be addressed.

Construction-related excavation would not disturb existing utility infrastructure. The proposed Project would connect to existing sewer and water utilities while protecting all existing utility facilities. Additionally, replacement of old sewer lateral and water main and restoring paving to existing conditions will occur as conditions to the Project. The construction contractor would be required to take precaution to protect all existing facilities and utilities; would not perform any work that would interfere or damage existing service; and would provide all measures necessary to protect existing structures during construction (e.g., bracing, shoring) during all construction phases. Additionally, the Project was approved pursuant to a list of COAs, including the following condition pertaining to trash and trash collection:

- In the event the business operations generate more trash than the existing trash enclosure can contain, the property owner shall be responsible for disposal of the additional trash through modifications in the number of days per week of trash pickups. Trash shall not be kept outside of the trash enclosure at any time.

2. Density

The commentor states that the General Plan indicates that this parcel is to be developed as low to medium density. The comment goes on to state that anything more than the assigned density would benefit the development company only and does not consider those already living in and paying taxes in the area.

As previously stated, Section 15.17.120, Density Bonus, of the City's Municipal Code requires the City to grant density bonus to projects meeting one or more of the qualifying criteria established within

the same section of Code. The Project, dedicating 3 of its 25 units for very-low-income households, is eligible for three density bonus incentives. As such, the Project can request a higher density, and in light of the density bonus, the proposed density would be consistent with applicable regulations. While the other topics addressed by the commentor are noted, they do not raise any issues pursuant to CEQA; as such, no further response is necessary.

The commentor states that both Revere and Concord Avenue continue to have parking issues with patrons of Mr. BBQ, BIGS and CSUF students parking on the streets. Furthermore, the commentor inquires specifics regarding parking, vehicle registration, and crowded streets during street sweeping.

As previously stated, the Project would provide a total of 56 assigned parking spaces and 6 guest parking spaces, exceeding the parking requirements applicable to the Project. Moreover, the Project has been approved pursuant to a list of COAs, including the following condition pertaining to parking:

- The applicant shall submit a Parking management Plan to the Planning division for review and approval prior to issuance of final Certificate of Occupancy. The plan shall include, but not be limited to, the assignment of parking spaces and guest parking practices.

While the other topics addressed by the commentor, including but not limited to vehicle registration and street sweeping, are noted, they do not raise a CEQA issue and are not the responsibilities of the proposed Project; as such, no further response is necessary.

The commentor also raises issue with the 9-11foot setback.

As previously stated, the Project's density bonus qualifies it for three density bonus incentives: an increase in height, a reduction in open space, and a reduction in required setbacks. As such, the Project's setback would be consistent with all applicable zoning regulations in light of the density bonus incentive.

The commentor raises an issue with safety, emergency vehicle access, fire life safety, traffic control, and ingress/egress.

It should be noted that the Project as proposed complies with the City's policies, regulatory requirements, and standards. As such, no impacts are anticipated.

The commentor raises issue with views into adjacent properties, privacy concerns, smoking legalities, security, electromagnetic radiation, and root intrusion.

While the commentor's concerns are noted, the issues of smoking legalities, security (vague), electromagnetic radiation, and root intrusion are not CEQA issues; as such, no further response is required. Regarding views into adjacent properties, as discussed, CEQA Class 32 exemption criteria do not require an analysis of aesthetics or visual impacts.

3. Design

The commentor states that the design of the new development should be studied in the rear of the property. This comment is not clear. Does the commenter mean to say that views from the rear of the property should have been discussed?

Regarding the overall design, the Project has been designed to blend well with other commercial and residential development in the immediate area. The various materials, architectural elements and proposed colors serve to enhance the building elevations and create a cohesive architectural style. The building orientation and articulation would reduce massing and create a streetscape of interest along State College Boulevard.

Moreover, while the comment is noted and a response provided, CEQA Class 32 exemption criteria do not require an analysis of aesthetics or visual impacts. As such, no additional response is required.

Appeal Letter 2

April 5, 2023

RE: Request for Minor Site Plan Review (ZON-2021-0041)/245 N. State College Boulevard

Density

The commentor requests that the Project not be exempt from CEQA in order for the City to exercise their due diligence to properly investigate the potential significant effects related to traffic, noise, air quality or water quality in an area that was not zoned for or meant to be developed at the densities of the proposed Project.

Through the preparation of appropriate technical studies, review of relevant databases, and coordination with the City Engineer, the Project has demonstrated that with implementation of necessary regulatory requirements and conditions of approval, a Class 32 Categorical Exemption is appropriate, and no further analysis, beyond what is included in the Substantial Evidence Memorandum, is required.

While the commentor is correct in that the Project site was not zoned for the Project's density, the City is required to grant the applicant with the appropriate density bonus in pursuant to City Municipal Code 15.17.120.

Building Height/Setbacks

The Commentor states that the Project's 2-story height incentive would not be allowed pursuant to the City's Municipal Code without the Project's density bonus. Further, the commentor states that this increase in height and reduction in setback would result in a loss of privacy and property value for homeowners of adjacent properties.

The commentor is correct in that the Project's proposed height would not be allowed without the height incentive afforded by the Project's density bonus; however, as the commentor notes, this incentive is allowed as part of the Project's density bonus. Pursuant to City Municipal Code 15.17.120, the City is required to grant the appropriate density bonus to the applicant. As such, in light of the

requirement, the Project would be consistent with all applicable regulations associated with building heights and setbacks. Furthermore, the commentor identifies lack of privacy and reduced property values as issues resulting from the increased height. This comment is noted but does not raise any issues pertaining to CEQA, as such no further response is required.

Parking

The commentor states that the Project is providing more parking spaces than required by California legislation and the density bonus, but the Project does not supply the amount of parking deemed necessary by Fullerton Municipal Code.

The commentor is incorrect in their assertion that the Project does not supply parking consistent with applicable requirements within the City's Municipal Code. As discussed in the Substantial Evidence Memorandum, the Project would provide a total of 56 assigned parking spaces and 6 guest parking spaces. Section 15.17.120, Density Bonus, of the City's Municipal Code, states that in addition to the development incentives afforded to a Project through density bonus, parking ratios for density bonus housing developments shall be as follows:

- Zero to one bedroom: one onsite parking space.
- Two to three bedrooms: two onsite parking spaces.
- Four and more bedrooms: two and one-half parking spaces.

As such, the number of parking spaces provided by the Project would exceed the City's Municipal Code requirements. Moreover, the Project was approved pursuant to a list of COAs, including the following condition pertaining to parking and enforcing provision of parking spaces:

- The applicant shall submit a Parking management Plan to the Planning division for review and approval prior to issuance of final Certificate of Occupancy. The plan shall include, but not be limited to, the assignment of parking spaces and guest parking practices.

The commentor goes on to raise issue with residents parking off-site, jaywalking hazards, off-site enforcement of the neighborhood's overnight parking ban, and off-site residents parking on their lawns.

The comments are noted; however, these topics do not raise CEQA issues or the Class 32 in-fill requirements. No further response is required.

Cumulative Impacts

The commentor inquires about the Project's cumulative impacts associated with the construction of the Hub Fullerton Project.

Given that construction activities of the Project and the Hub Fullerton Project are not anticipated to occur concurrently and that the Project would result in nominal increase in vehicular trips long-term, the Project's contribution to potential cumulative impacts would be less than significant. No responses to questions regarding the Hub Fullerton project are required.

Significant Effects (Unusual Circumstances)

The commentor raises concern regarding water quality, increase in impervious surfaces, and drainage.

A Preliminary Hydrology Report and a Preliminary WQMP are prepared for the proposed Project and included as Appendix A and Appendix B of the Substantial Evidence Memorandum. While the Project would increase the site's impervious surface, this is typical of most development projects. The Project's proposed hydrology ensures that potential associated issues, such as storm water runoff and flow rates, would be less than significant.

The Project's Preliminary Hydrology Report was prepared by Plump Engineering, Inc. in February 2022 to determine the flow rates from the Project site in the existing and proposed conditions. The report is also the basis for analyzing and designing to mitigate any potential impacts to adjacent property owners, upstream/downstream drainages and storm drain facilities and to protect the building from 100-year flood event.

In the existing condition, storm water discharges out of the existing Project site to the curb and gutter along State College Boulevard. The proposed development would grade the site to storm drains located throughout the site area. The drains would direct the water to the east of the site, facing State College Boulevard. The storm water will be treated by a Modular Wetlands System designed to handle the design flowrate and discharged out of the property to the curb and gutter along State College Boulevard. The entrance ramp to the subterranean parking garage will have its storm water collected by a trench drain located at the bottom of the ramp. The trench drain will place the water in detention vaults, which are designed to contain the 100-year, 24-hour storm event runoff of the ramp area. Storm water will be discharged from the detention vaults using pumps; treated at the modular wetland units; and discharged.

During construction, the contractor would be required to implement erosion control measures to manage sediment and other potential pollutants that could affect water quality. Appropriate Best Management Practices (BMPs) for construction-related materials, wastes, spills, or residues would be implemented to minimize transport from the site to streets, drainage facilities, or adjoining property by wind, runoff, or tracking. The Project would comply with all local, State, and federal Stormwater Pollution Prevention laws and any requirements of the California Regional Water Quality Control Board, Santa Ana Region. Additionally, the Project would comply with all BMPs outlined in the Project's Preliminary WQMP, prepared by Plump Engineering.

Additionally, the Project has been approved pursuant to a list of COAs, including the following conditions:

- Prior to issuance of building permits, the Developer shall submit a Water Improvement prepared by a California Registered Civil Engineer. The system shall be designed in conformance with the City of Fullerton Water Utility Specifications and Fire Department requirements and shall be subject to approval by the City Engineer and accepted by the Public Works Director.
- Site development shall not result in the increase in storm water run-off and flow intensity to the adjacent properties nor obstruct storm water flow into the site. The size and alignment of on-site drainage facilities shall be based upon detailed hydrology and hydraulic calculations prepared by a California Registered Engineer and shall be approved by the City Engineer.

Traffic

The commentor requests that the City conduct an updated traffic volumes study before approving this Project. Additionally, the commentor states that they are concerned about residents' ability to make a left turn from Revere to State College. Furthermore, the commentor raises concern over congestion, vehicles speeding through the area, and drunk drivers.

As stated previously, based on Project review by the City Traffic Engineer, the Project would not exceed the City's adopted significance criteria for Vehicle Miles Traveled (VMT), and as such would not result in VMT impacts. All nearby roads would remain open at all times during construction, unless approved by the City engineer. As such, no traffic study is required for the Project.

Moreover, while the commentor's concerns associated with congestion and level of service (LOS) are noted, CEQA no longer utilizes LOS to assess traffic impacts. Rather, VMT is the appropriate methodology to do so, and as stated above, the Project would not exceed the City's adopted significance criteria for VMT. All other topics within this comment are noted but are not issues pursuant to CEQA. As such, no further response is required.

Trash

The commentor raises issue with the dumpsters located in the parking structure and the frequency/schedule upon with they will be emptied.

While this comment does not raise a CEQA issue, it is noted that the Project has been approved pursuant to a list of conditions of approval, including the following:

- In the event the business operations generate more trash than the existing trash enclosure can contain, the property owner shall be responsible for disposal of the additional trash through modifications in the number of days per week of trash pickups. Trash shall not be kept outside of the trash enclosure at any time.

Delivery Vehicles

The commentor states that the parking structure would be constructed to accommodate large delivery vehicles. The commentor goes on to state that delivery drivers usually park wherever they can make the quickest delivery, often stopping in the middle of the road. Further, the commentor asks how the developer will ensure that delivery vehicles do not stop in the driveway to make deliveries.

The commentor is correct in their assertion that the parking garage has been designed to accommodate delivery vehicles; the remaining concerns addressed in this comment are not CEQA issues. As such, no response is required.

Other

The commentor states that the scope of this Project far exceeds other projects being considered for Minor Site Review. The commentor goes on to state that a project of this scope should not be exempt form CEQA.

Section 15332, In-Fill Development Projects (Class 32), applies to the proposed Project. Class 32 consists of environmentally benign infill projects that are consistent with the General Plan and Zoning designations and requirements. This class of projects are characterized as in-fill development meeting the following conditions:

a. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
c. The project site has no value as habitat for endangered, rare, or threatened species.
d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
e. The site can be adequately served by all required utilities and public services.

The Project's Substantial Evidence Memorandum addresses Project consistency with each of these conditions. As such, the Project does qualify for a Class 32 In-Fill exemption.

Regarding a Minor Site Review, Section 15.47.025, Determining a Minor or Major Site Plan, of the Fullerton Municipal Code states that a Site Plan shall be considered Minor if:

1. The project qualifies for an exemption (Categorical or Statutory) from the requirements of CEQA; and
2. The project does not require a discretionary action (CUP, Variance, Minor Exception, etc.).

As the Project meets both criteria, a Minor Site Plan is appropriate for the Project.

RESOLUTION NO. PC-2023-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FULLERTON, CALIFORNIA, APPROVING A RESOLUTION UPHOLDING THE DECISION OF THE ZONING ADMINISTRATOR APPROVING A MINOR SITE PLAN TO REDEVELOP A 0.71 ACRE SITE WITH 25 RESIDENTIAL TOWNHOMES OF WHICH 15 PERCENT OF THE UNITS WILL BE DEED-RESTRICTED FOR VERY LOW-INCOME HOUSEHOLDS ON PROPERTY ZONED R-G, LOCATED AT 245 NORTH STATE COLLEGE BOULEVARD

ZON-2021-0041 AND ZON-2023-0034

APPLICANT: KARA BLOCK
PROPERTY OWNER: GEOTECH DEVELOPMENT CORPORATION

RECITALS

WHEREAS, an application was filed for a Minor Site Plan to redevelop a 0.71-acre site with 25 townhome units over subterranean garage parking on a property more specifically described as:

Orange County Assessor's Parcel No. 269-064-08

WHEREAS, a notice of a Zoning Administrator hearing was sent to property owners located adjacent to the project site in accordance with Fullerton Municipal Code §15.76.040.B; and

WHEREAS, FMC Section 15.47.040 authorizes the Zoning Administrator to act on a Minor Site Plan; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15332, the project qualifies for a Class 32 - In-Fill Development Projects, Project Exemption; and

WHEREAS, in accordance with Section 15.66.070 of Chapter 15.66, Appeals of Zoning Administrator decisions are authorized to be heard by the Planning Commission; and

WHEREAS the Planning Commission of the City of Fullerton, in compliance with the noticing requirements of Fullerton Municipal Code (FMC) Chapter 15.76, has held a duly noticed public hearing for ZON-2023-0034.

RESOLUTION

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED by the Planning Commission of the City of Fullerton, as follows:

1. In all respects as set forth in all Recitals in the Resolution.

2. The Planning Commission, pursuant to FMC Section 15.47.040.B.1 finds as follows:

Finding: The project/use is permitted in the zoning classification.

Fact: The proposed Project involves construction of 25 two-story townhomes, over one level of subterranean garage parking. Multi-family dwelling is a permitted use in the R-G zone, pursuant to Fullerton Municipal Code table 15.17.020.A.

Finding: The project meets all applicable development standards.

Fact: Staff has reviewed the project and determined it conforms to the development standards contained in Title 15 of the Fullerton Municipal Code for R-G-zoned properties.

Finding: The project meets the design criteria as specified in Section 15.47.060, as applicable.

Finding: The proposed project creates a development that is pleasant in character, harmonious with past development of Fullerton and illustrates design compatibility with the desired developing character of the surrounding area.

Fact: The project has been designed to blend well with other commercial and residential development in the immediate area. The various materials, architectural elements and proposed colors serve to enhance the building elevations and create a cohesive architectural style. The building orientation and articulation would reduce massing and create a streetscape of interest along State College Boulevard.

Finding: The proposed project includes designing and/or screening all rooftop mechanical and electrical equipment as an integral part of the building design.

Fact: Mechanical air conditioning condensers would be installed within the private patios of each unit. Condenser units located on private roof top decks would be screen from public view by building parapets that are an integral part of the building design.

Finding: The project screens exterior trash, storage areas and service yards from view of nearby streets.

Fact: Trash containers will be kept in a trash room inside the subterranean parking garage and will not be visible from the public-right-of-way.

Finding: Designing landscaping to create a pleasing appearance from both within and off the site.

Fact: The proposed building frontage would utilize landscaping to provide visual interest for pedestrians and paved walkways for pedestrian access from the public State College Boulevard.

Fact: The proposed project would provide common space, which would include landscaping throughout, an open deck on the second level above the garage entry, and an open terrace at the rear of the property between the buildings. Both areas would include outdoor seating with built-in barbeque areas. Each unit is also provided with private open space in the form of a terrace. In addition to a terrace, 8 units include

private roof decks. Landscaping would include trees, shrubs, and ground cover including along the frontage of State College Boulevard. Tree species would include Olive (fruiting & fruitless varieties), Dragon tree, Bay Laurel, Fern Pine, African Sumac, Water Gum, and Hybrid Strawberry Tree.

Finding: The project creates traffic patterns that minimize impacts on surrounding properties and streets and accommodate emergency vehicles.

Fact: The proposed project includes the construction of a subterranean parking garage which would consist of all onsite parking and will be accessed from State College Boulevard. The parking garage has been designed to accommodate the height of typical delivery and moving trucks so that all unloading, and deliveries occur onsite.

Finding: The proposed project ensures that landscaping accommodates adequate sight distances for motorists and pedestrians entering and exiting the site and does not interfere with circulation effectiveness.

Fact: The landscaping along the proposed driveway has been designed to account for vision clearances.

THEREFORE, the Planning Commission does hereby RECOMMEND APPROVAL of said Major Site Plan ZON-2022-00121, subject to the following conditions of approval:

1. The action of the Planning Commission approves the submitted plans dated March 16, 2022, and as conditioned herein. The term “approved Minor Site Plan” pertains to the plans dated March 16and as conditioned herein.

2. Upon submitting plans for building plan check, a revised site plan which demonstrates that the floor area of the (3) ground patios along the project frontage are at least 100 square feet in size shall be submitted.

3. The project shall comply with applicable conditions of approval contained in the Substantial Evidence for Notice of Exemption Memorandum.

4. The applicant shall submit a Parking Management Plan to the Planning division for review and approval prior to issuance of final Certificate of Occupancy. The plan shall include, but not be limited to, the assignment of parking spaces, guest parking practices

5. Prior to building permit issuance, and pursuant to FMC §15.50.030, a Landscape Documentation Package shall be submitted to the City for review and approval. The Landscape Documentation Package includes, but is not limited to, certified landscape and irrigation design plans. The Landscape and Documentation Package requires a separate plan check submittal and fee.

6. The approval of Minor Site Plan ZON-2021-0041 becomes null and void if not exercised within 12-months from the date of approval. Prior to the date of expiration of the approved Minor Site Plan, the expiration date may be extended by the Zoning Administrator for a period or periods not exceeding 12-months, for a total of no more than 24 months.

7. In the event the normal operations generate more trash than the existing trash enclosure can contain, the property owner shall be responsible for disposal of the additional trash through modifications in the number days per week of trash pickups. Trash shall not be kept outside of the trash enclosure at any time.

8. Applicant/Property Owner is responsible for ensuring that information contained in construction plan drawings is consistent among architectural, structural, grading, electrical, mechanical, plumbing, fire, utility, and public improvement plans as well as other construction drawings. This responsibility may be transferred by the Applicant/Property Owner to the Project Architect. While the City aims to correct inconsistencies, they are the ultimate responsibility of the Applicant/Property Owner/Project Architect to remedy, up to and including completing construction revisions prior to receiving final occupancy approvals.

9. The applicant shall agree to indemnify, hold harmless, and defend the City of Fullerton, its officers, agents and employees, from any and all liability or claims that may be brought against the City arising out of its approval of the project.

10. The project shall be in substantial conformance with the plans provided by the applicant except to the extent that the plans or designs are modified by the City of Fullerton Zoning Administrator or conditions herein.

11. Construction plans shall be submitted to the Community and Economic Development Department for review and issuance of any future building permit(s). Construction plans shall comply with Fullerton Building Codes, as adopted and in effect at time of plan submittal.

12. All corrections generated during the plan check and inspection process shall be incorporated as conditions of approval by reference. Plans shall clearly show that the project complies with applicable Building Codes prior to issuance of building permits. Any site plan revisions necessary to comply with Building Code revisions may be considered for approval by the Director of Community and Economic Development.

13. All construction and general maintenance activities that are anticipated to exceed the noise standards set forth in FMC §15.90 shall be limited to the hours of 7 a.m. to 8 p.m. Monday through Saturday, except in the case of an emergency. Noise associated with construction, repair, remodeling or grading of any real property must comply with the standards set forth in FMC §15.90 between 8 p.m. and 7 a.m. Monday through Saturday and at any time on Sunday or City-recognized holidays. All on-site construction equipment shall have properly operating mufflers and applicant should utilize the quietest equipment available.

<u>Public Works Engineering – Conditions of Approval</u>

PROJECT SPECIFIC

14. The project shall record an irrevocable offer of dedication of 10 feet of additional right of way to the City (dedication for public street and utility purposes) along the property frontage on State College Blvd prior to issuance of Temporary Occupancy Certificate. All proposed on-site improvements associated with the development shall be constructed to the ultimate street right of way alignment and shall not encroach into the area offered for dedication except flat hardscape work and landscaping improvements. While this future dedication is

consistent with the ultimate street width per the City's General Plan, the City shall be under no obligation to accept the offer at any time, and the decision to accept the offer shall be at the sole discretion of the City.

15. Mailboxes shall be removed from sidewalk and replaced with onsite mail collection box.

16. Existing trees along the project frontage shall be removed and replaced with full width concrete sidewalk per City standards. New trees shall be planted onsite behind the sidewalk along the property's frontage.

17. Asphalt Concrete (AC) on State College Blvd. was recently reconstructed over the entire street width; therefore, all construction operations that produce damage to the existing AC pavement (i.e., saw cutting, trenching, potholing, sandblasting, etc.) will be subject to moratorium standards for pavement replacement, City Standard No. 130.

18. Existing sidewalk along the project frontage shall be removed and reconstructed with the new full width concrete sidewalk per City Standard No. 122.

19. Damaged curb and gutter along the project frontage shall be reconstructed with new curb and gutter per City Standard No. 120.

20. Existing driveway approach(s) that will not be utilized by the proposed development shall be removed and replaced with full width concrete sidewalk and full height curb and gutter.

21. New driveway approach(s) shall be constructed per City Standard No.121, Commercial Driveway.

22. All on-site water services exclusively serving the proposed development shall be privately owned and maintained.

23. The project shall install one master meter above-ground assembly for 3" and larger for domestic service with backflow, one master meter for irrigation with backflow, one master meter with DCDA for fire service, and a new public fire hydrant to meet City standard requirement of a public fire hydrant to be within 50' of the FDC. Above-ground assemblies shall be installed behind property line. If method of concealment is used, it shall not obscure the Fire Department's pumper connection, OS&Y rising stems, hinder access to the connection, or obscure the testing of the device.

24. Existing water services not utilized shall be abandoned at the main. Existing water meter in the proposed driveway shall be abandoned.

25. Prior to issuance of building permits, the Developer shall submit a Water Improvement Plan prepared by a California Registered Civil Engineer. The system shall be designed in conformance with City of Fullerton Water Utility Specifications and Fire Department requirements and shall be subject to approval by the City Engineer and accepted by the Public Works Director.

26. The developer shall provide water calculations to properly size the new meters. All proposed and existing hydrants must meet Fire Department minimum required flow. (City

of Fullerton's Water Rates, Rules, and Regulations, rule 15.A and 15.B). Any fire hydrants required on site shall be private.

GENERAL CONDITIONS

27. All work in the public right of way shall be constructed in accordance with the Standard Plans and Standard Specifications for Public Works Construction, latest edition. This includes supplements thereto and City of Fullerton Standard Drawings.

28. Before undertaking any grading or construction work of any type within the public right of way, the owner must first obtain the applicable permits from the Public Works Department.

29. All work within public right of way requires a separate public works permit.

30. During site improvement, all deliveries to the project site that are overweight, or oversize will require a transportation permit from the Public Works Department.

31. The project shall utilize the City's benchmarks. A list of the City's benchmarks is available on the City of Fullerton website.

32. The developer shall provide and maintain all necessary flag persons, barricades, delineators, signs, flashers, and any other safety equipment as set forth in the latest publication of the State of California, Manual of Traffic Control, or as required by the Public Works Department permit requirements to ensure safe passage of pedestrian and vehicular traffic.

33. Street trenches required for the installation of utility connections shall comply with City of Fullerton Standard No. 312 and 313.

34. Any controlling survey monumentation (property lines, tract lines, street centerline, etc.) which are at risk of being destroyed or disturbed during the course of this project must be preserved in accordance with Section 8771(b) of the California Business and Professions Code (Professional Land Surveyors Act). Pre-construction field ties, along with the preparation and filing of the required Corner Records or Record of Survey with the County of Orange, shall be accomplished by, or under the direction of, a licensed surveyor or civil engineer authorized to practice land surveying. Copies of said records shall be furnished to the City Engineer for review and approval prior to issuance of any onsite or offsite construction permits. Any monuments disturbed or destroyed by this project must be reset and post-construction Corner Records or Record of Survey filed with the County of Orange. A copy of the recorded documents shall be submitted to the City Engineer for review and approval prior to issuance of any permits within the public right of way.

35. Prior to issuance of building permits, all public improvements (if any) shall be guaranteed to be installed by the execution of an Agreement for Public Improvements secured by sufficient bonds or sureties for both Faithful Performance and Labor and Materials, in a form approved by the City Attorney.

36. Public Works Department expenses, including consultant review of WQMP and Grading Plan, project management, plan check, inspection, will be charged against the reimbursable account created for the project. The initial $5,000 shall be deposited with the

Public Works Department concurrently with the project application. If the amount deposited is insufficient to complete the project review and inspection process, additional deposit(s) will be required as necessary to finalize the project. Any unspent funds will be returned to the applicant after final acceptance of the project.

37. All the public improvements, studies, designs, plans, calculations, and other requirements shall be installed, provided, and supplied by the developer in accordance with City and State codes, policies, and requirements at no cost to the City. All work shall comply with City standards and specifications and with the City of Fullerton Municipal Codes.

38. Proposed sewer laterals shall be minimum 6" V.C.P. per City Std. 209A and 209B. All existing lateral connections to be utilized for the development shall be video inspected to determine their condition. Video shall be submitted to the Public Works/Maintenance for review. If determined that the existing connection(s) are in poor condition, they shall be replaced with new lateral connections per standard plans.

39. Existing public and private easements shall not be affected by the proposed development. Any modification to an existing public and/or private easement shall be coordinated and approved by applicable easement owners.

40. All facilities crossing lot lines shall be located in private easements.

41. According to FMC Section 16.05.060, all proposed utilities that provide direct service to the subject property, including electric and all telecommunication systems, shall be installed underground; all existing facilities providing direct service to the development shall be undergrounded.

42. Site development shall not result in the increase of storm water run-off and flow intensity to the adjacent properties nor obstruct storm water flow into the site. The size and alignment of on-site drainage facilities shall be based upon detailed hydrology and hydraulic calculations prepared by a California Registered Engineer and shall be approved by the City Engineer.

43. A Final Grading plan shall be reviewed and approved prior to issuance of grading permit.

44. Site grading shall adhere to the approved grading plan and shall be completed prior to issuance of temporary occupancy.

45. An As-Built Grading Plan, signed and stamped by the Engineer of Record and the Geotechnical Engineer, shall be submitted to Public Works Department prior to finalizing and closing the grading permit. Any deviations from the approved grading plan will require a submittal of grading plan revision for the City Engineer's review and approval.

46. In addition to all retaining walls, any above-ground construction, regardless of its height, that may alter the existing storm water flow pattern shall be shown on the grading plan.

Project Specific:

ADOPTED BY THE FULLERTON PLANNING COMMISSION ON MAY 24, 2023.

Arif Mansuri, Chair

FULLERTON PLANNING COMMISSION
NOTICE OF PUBLIC HEARING

Project Reference No.: ZON-2021-0041

Appeal of the Zoning Administrator's Approval of a Minor Site Plan Review at 245 North State College Boulevard

The City of Fullerton encourages the public to participate in the decision-making process. The following notice is being provided so that you can ask questions, make comments, and stay informed about projects that might be important to you. We encourage you to contact us prior to the Public Hearing if you have any questions and/or to enter your testimony into the public record in advance of the Public Hearing.

Meeting Time and Date

This matter will be heard on **Wednesday, May 24, 2023, at 6:30 p.m.** by the Planning Commission in the Fullerton City Council Chamber, 303 West Commonwealth Avenue, Fullerton, CA 92832. Members of the public can access meetings streamed live online at www.cityoffullerton.com/agendas, on Spectrum Cable Channel 3, and AT&T U-Verse Channel 99. ***The public may also remotely participate in the meeting to make oral public comment via computer, smart device, or telephone.*** The Council Chamber will have limited seating available on a first-come, first-served basis for members of the public to attend the meeting in person.

What is the Proposed Project?

The applicant submitted an Appeal of the Zoning Administrator's approval of a request for a Minor Site Plan to redevelop a 0.71-acre site with 25 residential townhomes over one level of subterranean garage parking, located at 245 North State College Boulevard.

Who to Contact if You Have Questions or Comments

If you have any questions or would like to comment on the proposed action prior to the public hearing, please contact Chris Schaefer with the Community and Economic Development Department at (714) 738-6884 or send an email to Chris.Schaefer@cityoffullerton.com.

Where to Get More Information

Project details may be found on the City website 72-hours prior to the public hearing at: www.cityoffullerton.com/agendas. Under "Upcoming Meetings," click on the link to the **Agenda** for the corresponding Planning Commission date. The agenda contains links to the staff report and other informational materials for each agenda item ***as well as information on how to make oral public comment during the meeting***.

Planning Commission Action Items

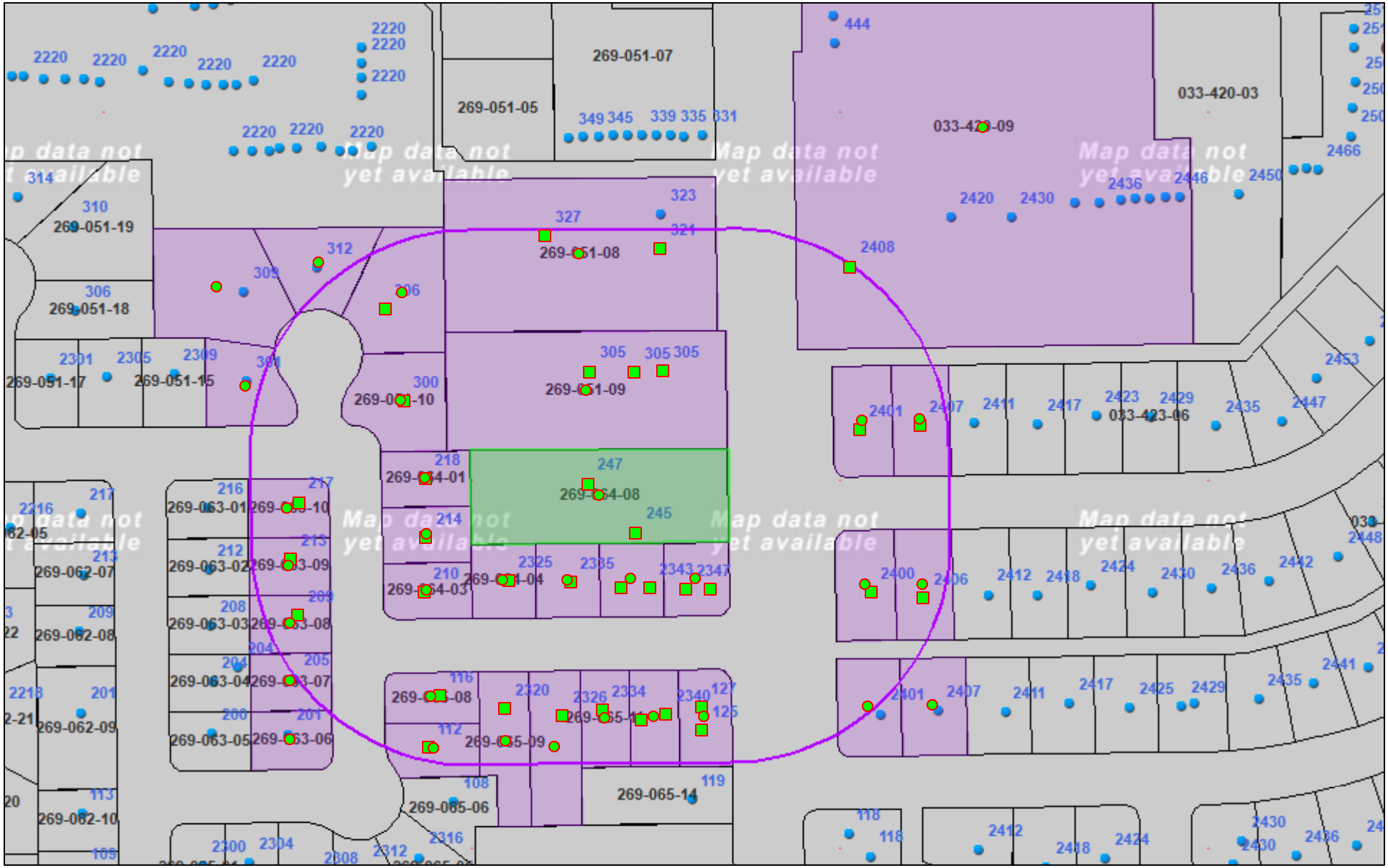
The Planning Commission will hold a public hearing to consider the application for an Appeal of ZON-2021-0041. This application is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15323. The decision of the Planning Commission will be final unless appealed to the City Council.

Si tiene preguntas en español, favor de llamar a Victor Estrada al (714) 738-2891.

If requested, the agenda and backup materials will be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof. Should you require special accommodations to participate in a meeting, please contact Janet Ragland at Janet.Ragland@cityoffullerton.com or (714) 738-6598 at least 48 hours prior to the meeting to make arrangements.

If you challenge the decision on the above matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Fullerton at, or prior to, the public hearing. (Government Code 65009 (a))

Public Notification



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- Address Points
- Parcels
- City Boundary

1:2,257

0 0.0175 0.035 0.07 mi

0 0.03 0.06 0.12 km

Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA,

City of Fullerton

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ZON-2021-0041 / ZON-2023-0034

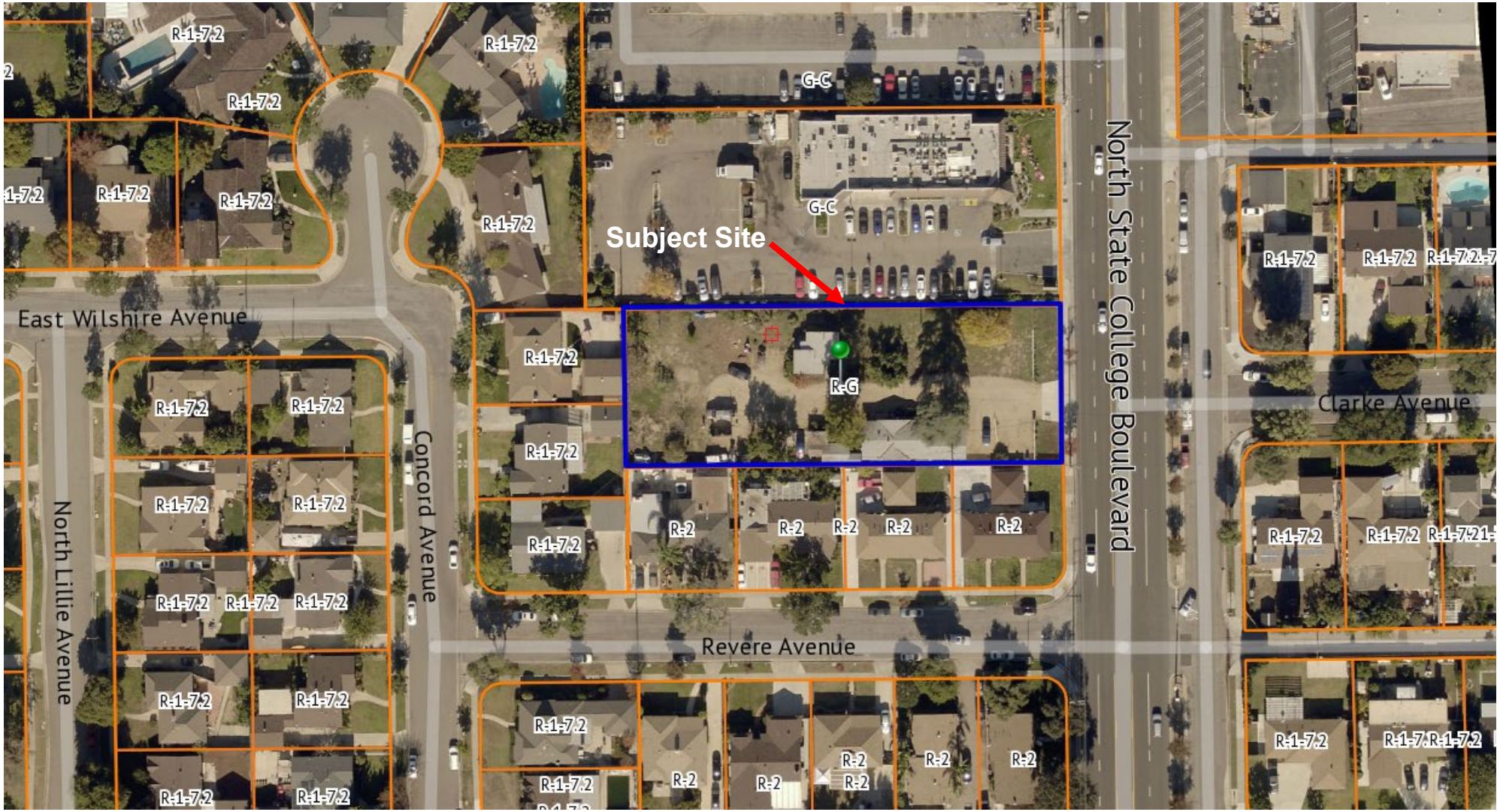
Appeal of Minor Site Plan Approval

245 North State College Boulevard

Planning Commission

May 24, 2023

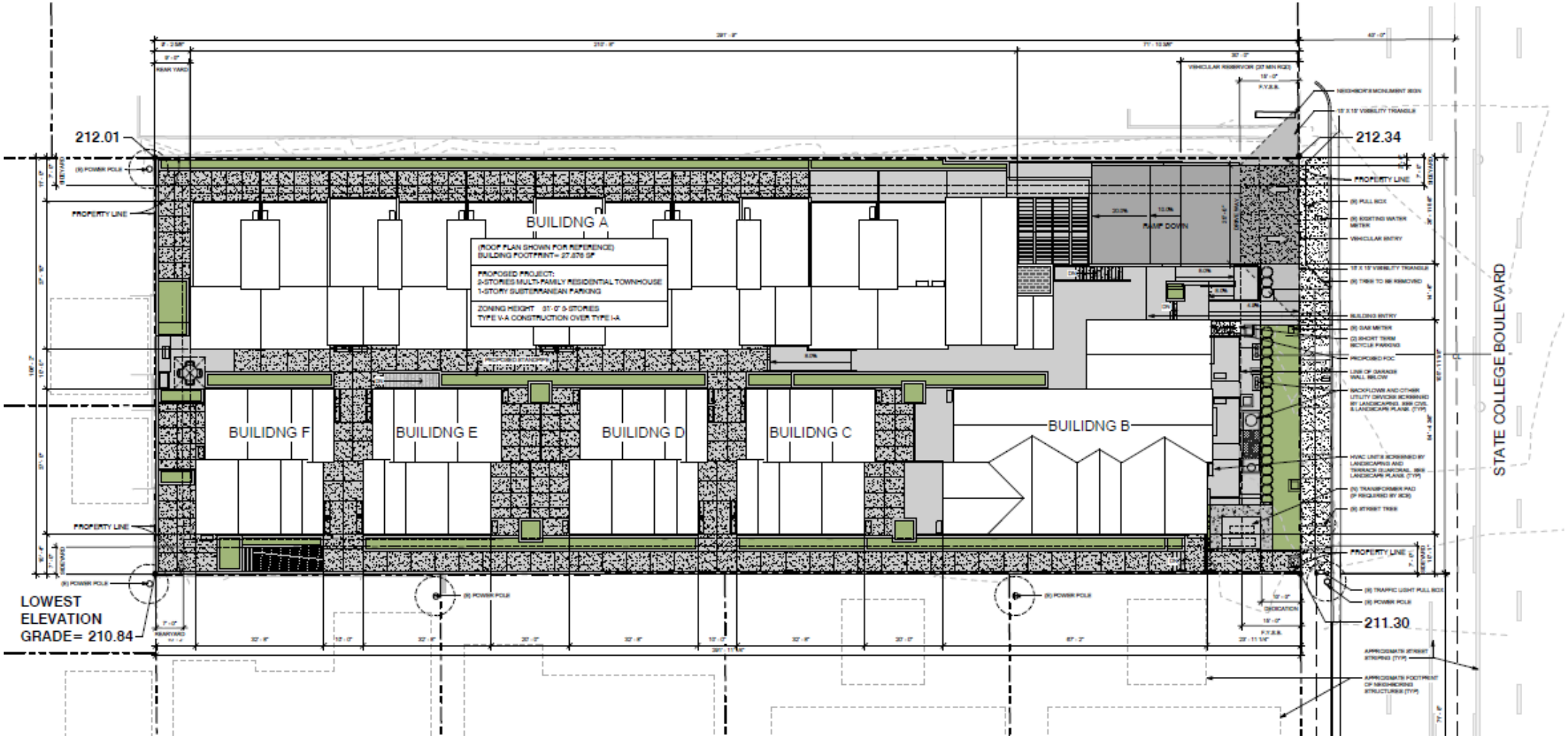
Project Location



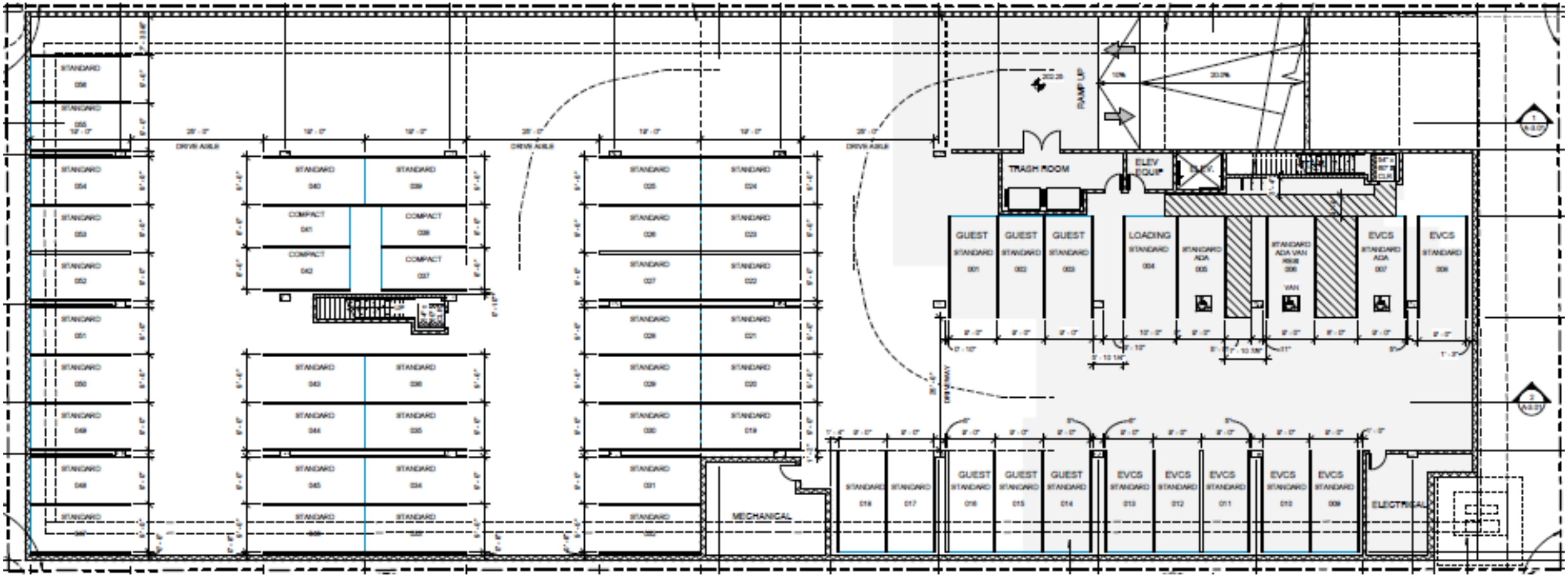
Current Request / Authorization

- Appeal of the Zoning Administrator's Approval
  - Minor Site Plan for residential development of 25 residential townhomes
  - Fullerton Municipal Code (FMC) Section 15.66.070 of Chapter 15.66 authorizes Appeals of Zoning Administrator decisions to be heard by the Planning Commission.

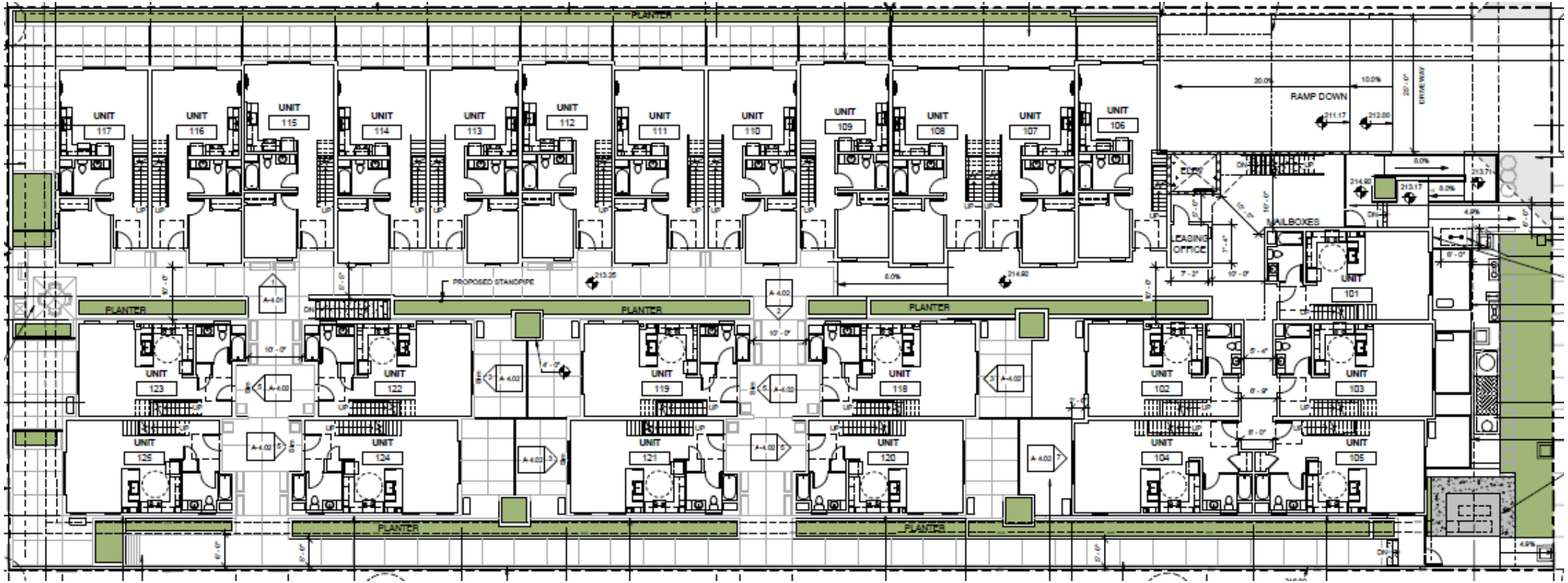
Site Plan


212.01
212.34
211.30
LOWEST ELEVATION GRADE= 210.84
PROPERTY LINE
BUILIDNG A
BUILIDNG B
BUILIDNG C
BUILIDNG D
BUILIDNG E
BUILIDNG F
RAMP DOWN
STATE COLLEGE BOULEVARD

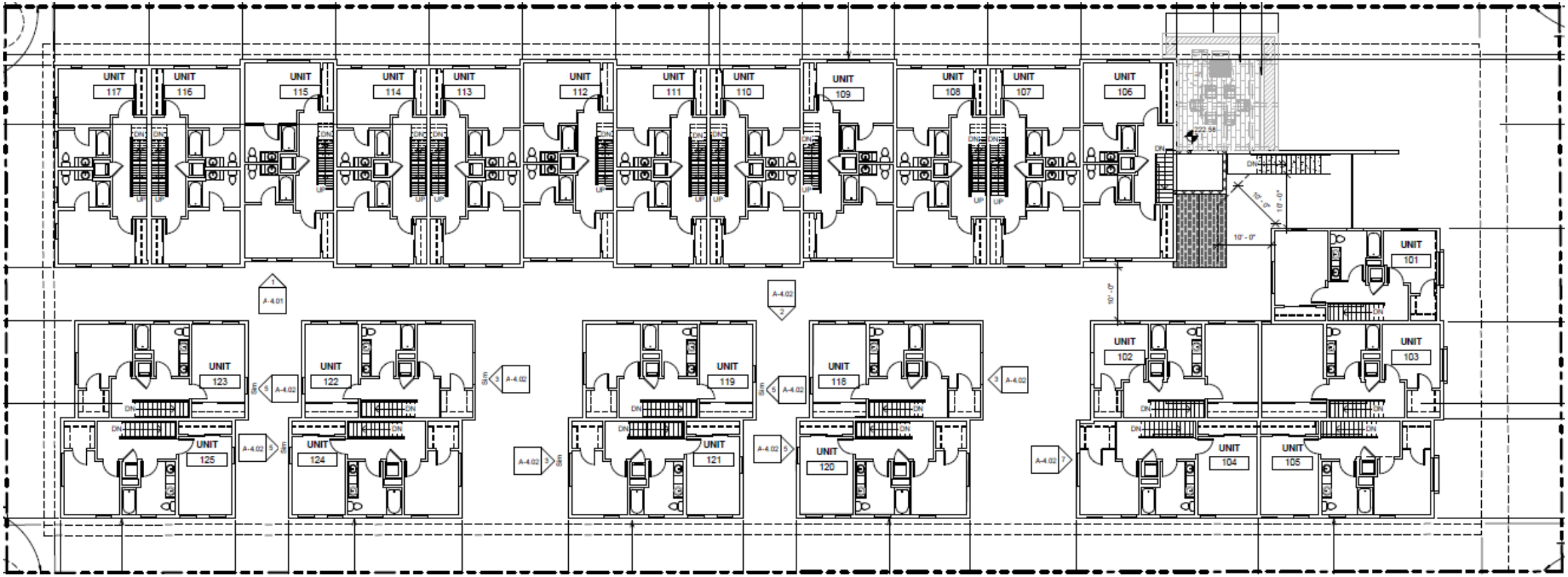
Parking Garage



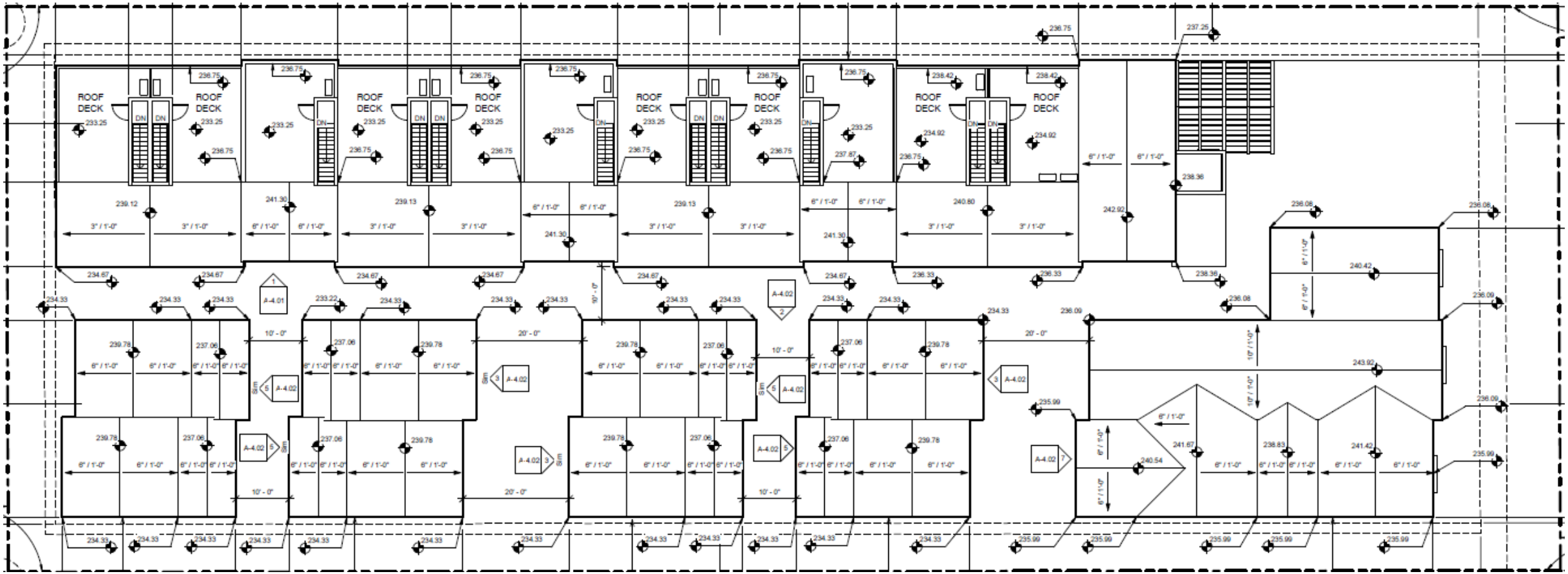
Floor Plan – Ground Level



Floor Plan – Second Floor

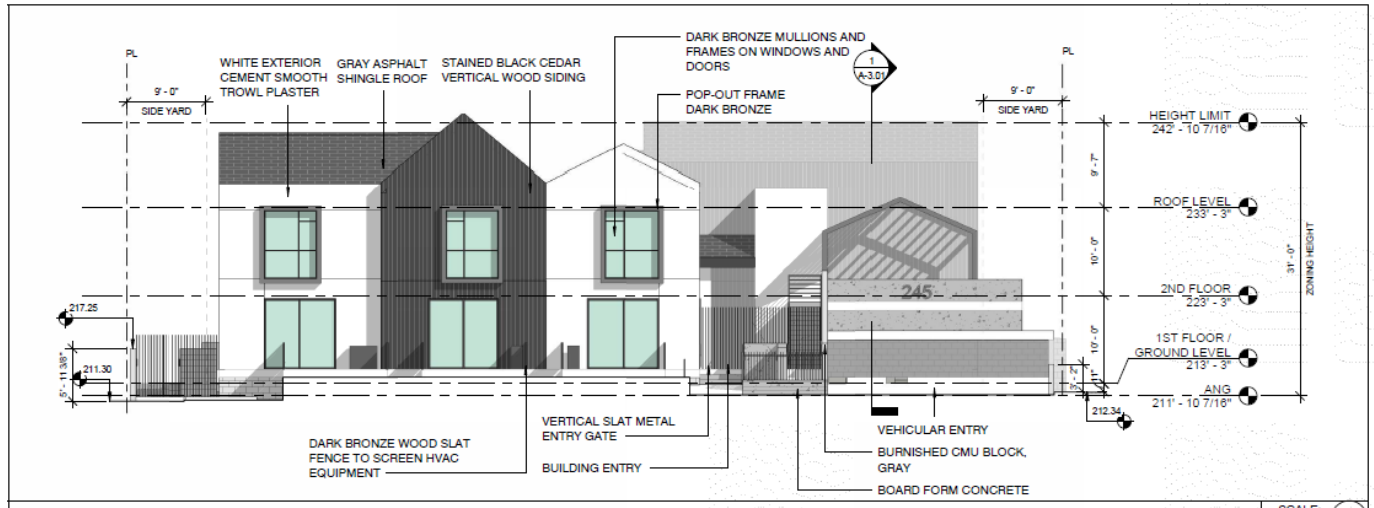


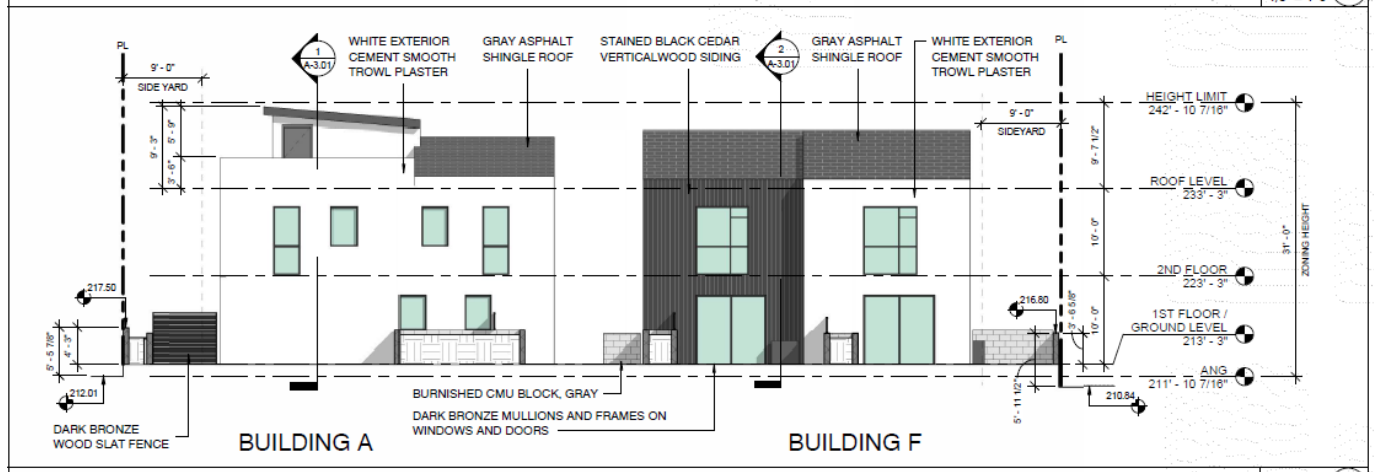
Roof Plan



Landscape Plan

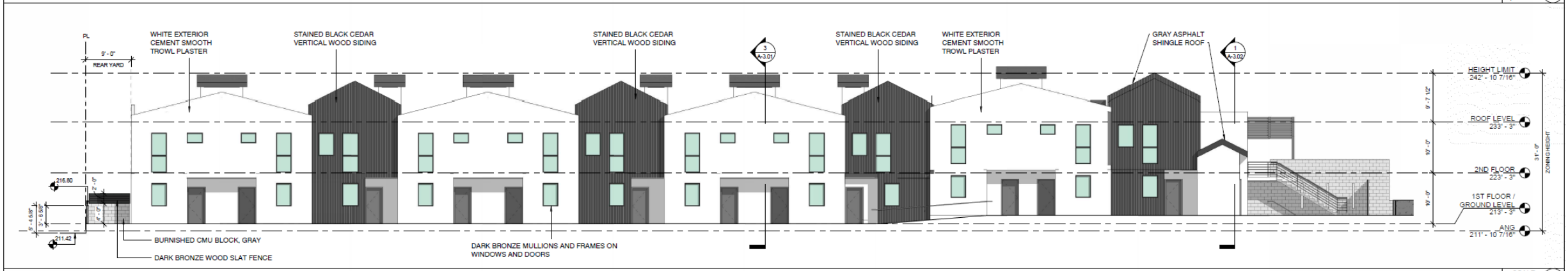
Elevation Plan





Elevation Plan

NORTH ELEVATION BLDG. A SCALE: 1/8" = 1'-0" 2



SOUTH ELEVATION BLDG. A SCALE: 1/8" = 1'-0" 1

Perspective Rendering

Recommended Action

- Adopt Resolution No. PC-2023-12 upholding the decision of the Zoning Administrator and approving the Minor Site Plan, as conditioned and pursuant to facts and findings therein
- Find the project Categorically Exempt from CEQA per Section 15332, In-fill Development Projects

ZON-2021-0041 / ZON-2023-0034

Appeal of Minor Site Plan Approval

245 North State College Boulevard

Planning Commission

May 24, 2023